

DALMA

OPERATIONAL WORKS STAGE 2B No. 35701-02B

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No.: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

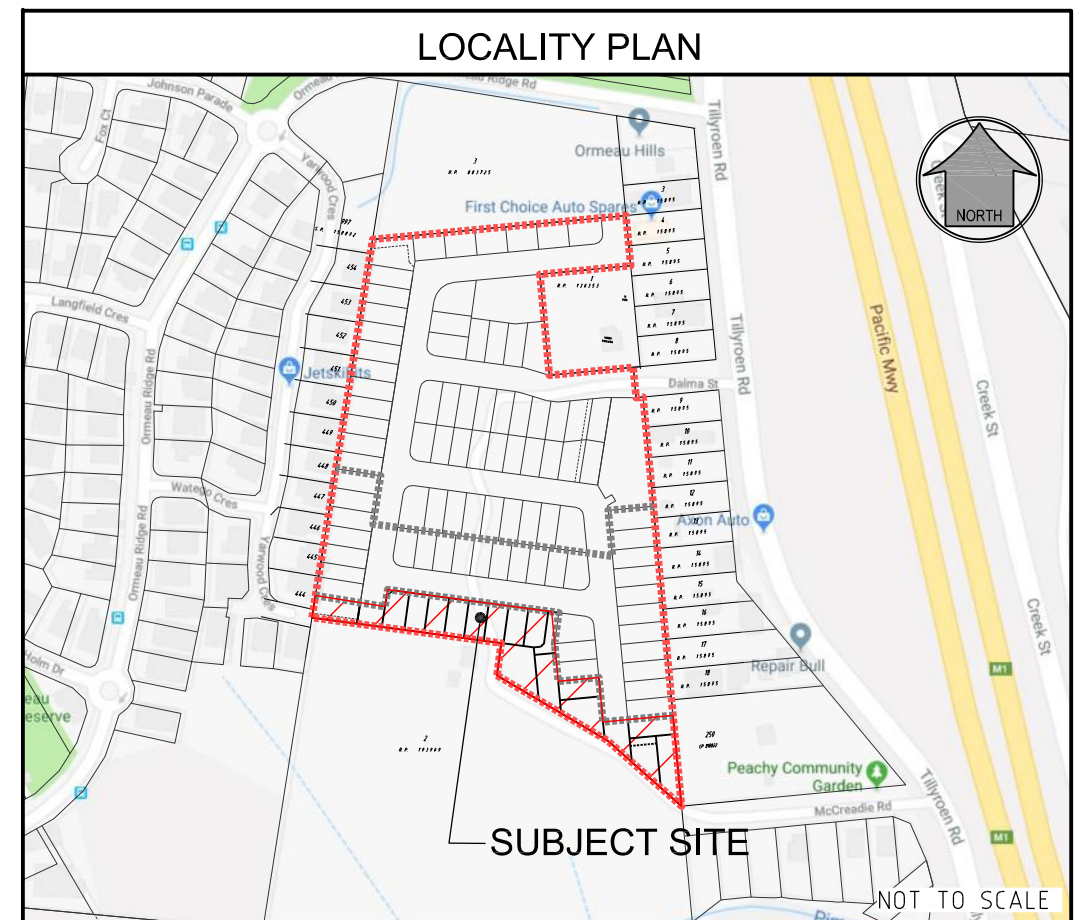
SCHEDULE OF DRAWINGS					
NUMBER	REV. NO.	TITLE	NUMBER	REV. NO.	TITLE
GENERAL					
35701-02B-000	B	COVER SHEET	35701-02B-450	A	PLAN-SHEET
35701-02B-005	A	ROAD HIERARCHY & STAGING PLAN	35701-02B-460	A	RETAINING WALL DETAILS
			35701-02B-461	A	FINAL TRIM DETAILS
EARTHWORKS: DEMOLITION PLAN					
35701-02B-020	A	PLAN SHEET 01	SEWER RETICULATION: SEWER		
EARTHWORKS: CUT AND FILL					
35701-02B-040	A	CUT TO FILL PLAN SHEET 01 OF 02	35701-02B-500	A	PLAN SHEET 01 OF 02
		CUT TO FILL PLAN SHEET 02 OF 02	35701-02B-501	A	PLAN SHEET 02 OF 02
35701-02B-041	A	EARTHWORKS SECTIONS	35701-02B-510	A	DETAILS SHEET 01
35701-02B-042	A	EARTHWORKS SECTIONS	SEWER RETICULATION: PROFILES		
EARTHWORKS: SEDIMENT AND EROSION					
35701-02B-070	A	PLAN SHEET 01 OF 02	35701-02B-530	A	PROFILE
35701-02B-071	A	PLAN SHEET 02 OF 02	SEWER RETICULATION: HOUSE CONNECTIONS		
EARTHWORKS: COMBINED SERVICES					
35701-02B-090	A	PLAN SHEET 01	35701-02B-550	A	HC PROFILES SHEET
ROADS: ROADWORKS					
35701-02B-100	A	PLAN SHEET 01	STORMWATER: DRAINAGE		
35701-02B-120	A	DETAILS SHEET 01	35701-02B-600	B	PLAN SHEET 01
ROADS: LONGITUDINAL SECTIONS					
35701-02B-200	A	MCCREADIE ROAD (02) & ALLORA CRES (03)	STORMWATER: PROFILES		
			35701-02B-620	A	PROFILES
ROADS: CROSS SECTIONS					
35701-02B-300	A	MCCREADIE ROAD (02) & ALLORA CRES (03)	STORMWATER: PIT DETAILS		
			35701-02B-640	A	DETAILS
ROADS: JOINTING DETAILS					
35701-02B-410	B	DETAILS PLAN	STORMWATER: CATCHMENT PLANS		
ROADS: LINEMARKING AND SIGNAGE					
35701-02B-420	A	PLAN SHEET 01	35701-02B-670	A	CATCHMENT PLAN
			STORMWATER: CALCULATION TABLES		
			35701-02B-680	A	MINOR & MAJOR CALCULATION TABLES
			WATER: WATER RETICULATION		
			35701-02B-700	A	PLAN
			35701-02B-701	A	DETAIL



CLIENT

ORMEAU DEVELOPMENT
PTY LTD

SUB-CONSULTANTS



R. P. DESCRIPTION
Lot 4 RP883725, LOT 4 DALMA STREET
ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

DRAWING NUMBER	AMEND.
35701-02B-000	B













GENERAL

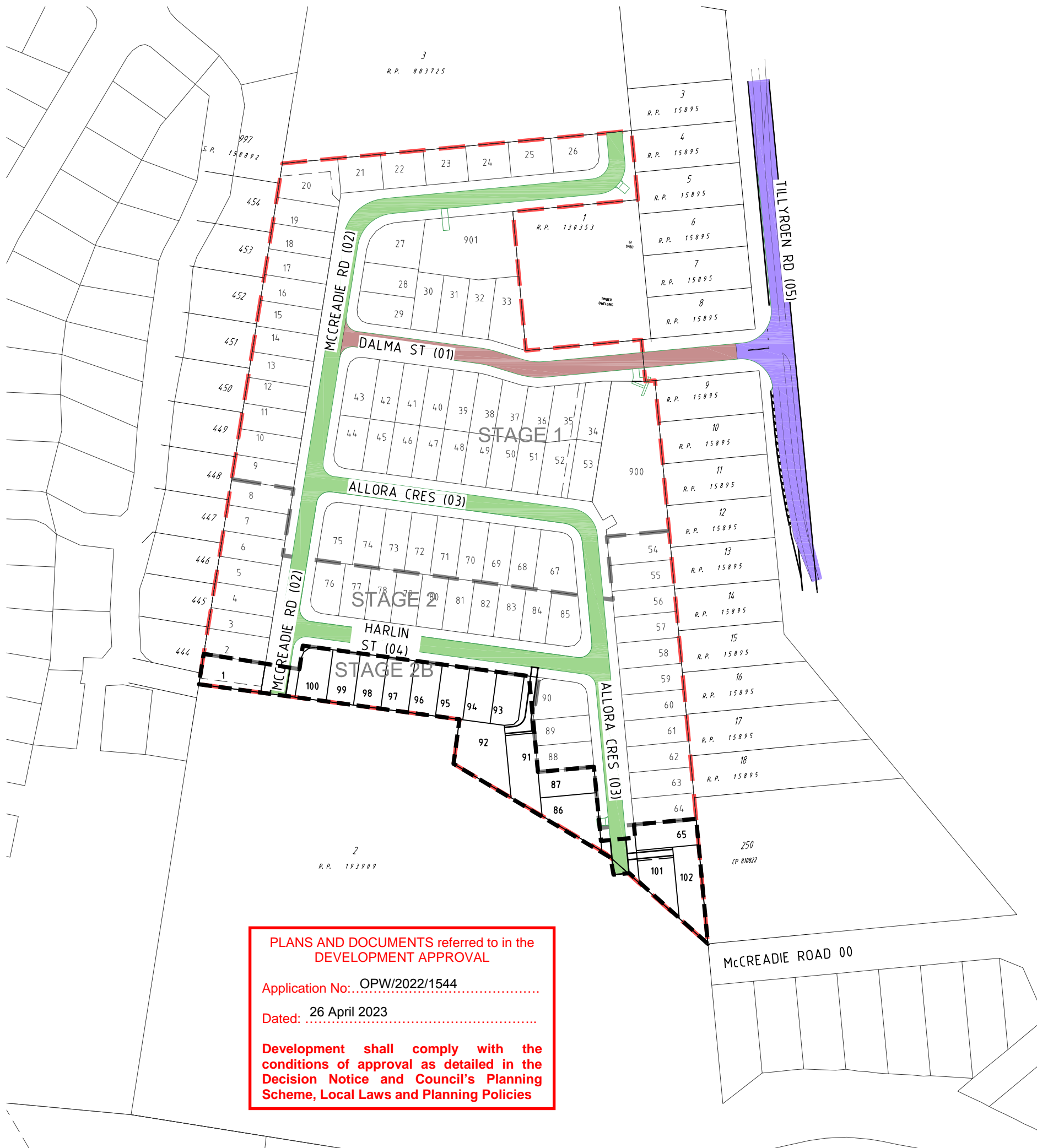
1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. TRENCH SPOIL
ALL MATERIALS ARISING FROM ROADS AND SERVICES ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP AT THE CONTRACTOR'S EXPENSE.
5. CHECK ELECTRONIC SETOUT
CONTRACTOR IS RESPONSIBLE TO ENSURE ANY ELECTRONIC DATA FILES MATCH THE DRAWINGS.
6. PRE START
 - a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY AND EXIT POINT AS INDICATED.
 - b. CONSTRUCT VEHICLE WASHDOWN AREA AND ASSOCIATED SILT MANAGEMENT DEVICES.
 - c. CONSTRUCT SITE OFFICE AND STORAGE COMPOUND AREA.
 - d. INSTALL EROSION AND SEDIMENT CONTROL DEVICES AS PER THE CONTRACTOR'S EROSION AND SEDIMENT CONTROL PLAN.
 - e. ERECT TEMPORARY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED VEGETATION MANAGEMENT PLAN AND AUTHORITIES APPROVAL CONDITIONS (IF REQUIRED).
7. HEALTH AND SAFETY
ALL WORKS UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH AND SAFETY LEGISLATION.

PROJECT SPECIFIC REPORTS

- THE CONTRACTOR MUST FOLLOW THE RECOMMENDATIONS AND PROCEDURES OUTLINED IN THE FOLLOWING REPORTS AT ALL TIMES:
- a) GEOTECHNICAL INVESTIGATION REPORTS (INCLUDING ANY ACID SULPHATE OR DISPERSIVE SOIL REPORTING)
 - b) VEGETATION & FAUNA MANAGEMENT PLANS
 - c) OTHER MANAGEMENT PLANS NOMINATED IN THE CONTRACT, AUTHORITIES APPROVAL CONDITIONS OR BY THE SUPERINTENDENT.

LEGEND

-  RESIDENTIAL COLLECTOR STREET (7.5m CARRIAGEWAY)
 -  RESIDENTIAL STREET (7.5m CARRIAGEWAY)
 -  TWO LANE ROAD - URBAN (11.0m CARRIAGEWAY)
 -  EXISTING PROPERTY LINE
 -  EXISTING KERB (INVERT)
 -  FUTURE PROPERTY LINE
 -  FUTURE KERB (INVERT)
 -  PROPOSED PROPERTY LINE
 -  PROPOSED KERB (INVERT)
 -  SITE BOUNDARY
 -  STAGE BOUNDARY
 -  LIMIT OF WORKS BOUNDARY
- REFER 120 DRAWINGS SERIES FOR TYPICAL SECTIONS



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

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PROJECT NAME
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION: Lot 4 RP883725, LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**


NORTH

0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS





DRAWING TITLE

**ROAD HIERARCHY
AND
STAGING PLAN**



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Tel 07 5571 1099
Fax 07 5571 1088

Postal Address
PO Box 2484
Southport QLD 4215

Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED 	RPE 4706 DATE 24-11-22
DRAWING NUMBER 35701-02B-005	AMEND. A

GENERAL

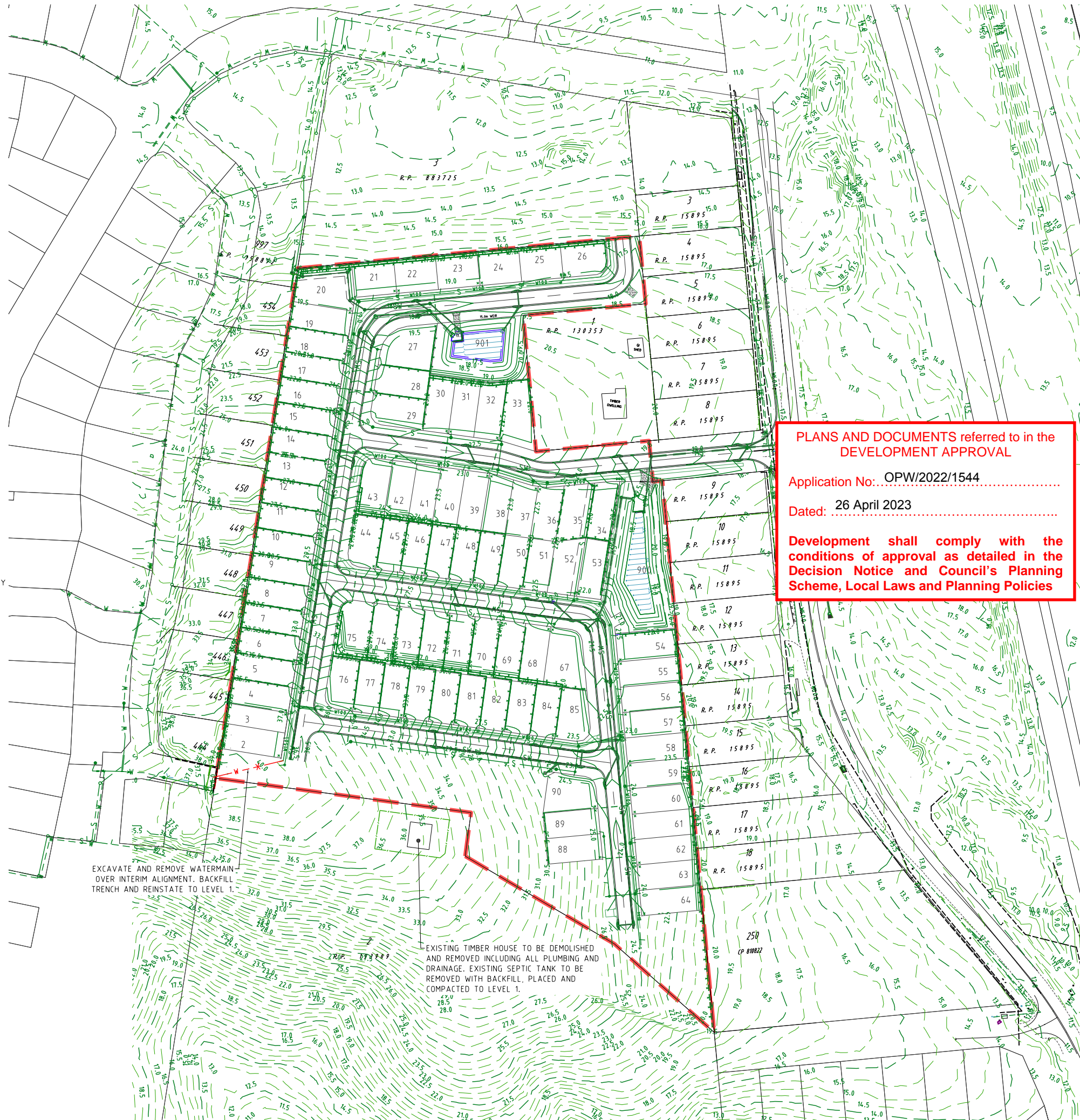
1. EXISTING SERVICES - External Works
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES AND TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY.
2. EXISTING STRUCTURES -
ALL EXISTING STRUCTURES AND ASSOCIATED INFRASTRUCTURE TO BE REMOVED AND DISPOSED OF OFF SITE.
3. EXISTING DAMS -
EXISTING DAMS TO BE DEWATERED. ALL SILT AND DEBRIS ARE TO BE REMOVED AND AND LAWFULLY DISPOSED OF. REPLACEMENT FILL IS TO BE LOCATED AND COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

NOTE:

CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING BULK EARTHWORKS EXCAVATION.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING FENCE
- EXISTING KERB
- EXISTING EDGE OF BITUMEN
- CONTROL LINE / CENTER OF ROAD
- EXISTING FOOTPATH
- EXISTING EDGE OF VEGETATION
- RM — RM — EXISTING RISING MAIN
- S — S — EXISTING SEWER
- SW — SW — EXISTING STORMWATER
- W100 — W100 — EXISTING WATER
- G — G — EXISTING GAS
- E — E — EXISTING UNDERGROUND ELECTRICITY
- E — E — EXISTING OVERHEAD ELECTRICITY
- T — T — EXISTING TELSTRA
- C — C — EXISTING COMMUNICATIONS
- 1.0 — EXISTING CONTOURS MAJOR
- 1.5 — EXISTING CONTOURS MINOR
- W — X — W — X — DEMOLISH WATER
- — — — — SITE BOUNDARY



EXCAVATE AND REMOVE WATERMAIN OVER INTERIM ALIGNMENT. BACKFILL TRENCH AND REINSTATE TO LEVEL 1.

EXISTING TIMBER HOUSE TO BE DEMOLISHED AND REMOVED INCLUDING ALL PLUMBING AND DRAINAGE. EXISTING SEPTIC TANK TO BE REMOVED WITH BACKFILL, PLACED AND COMPACTED TO LEVEL 1.

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STAGE 2B**

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DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

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ASSOCIATED CONSULTANTS



DRAWING TITLE

**EXISTING FEATURES
AND DEMOLITION
PLAN
SHEET 01**

MORTONS
urbansolutions
Urban & Regional Planning
Civil Engineering
Project Coordination

MUS Pty Ltd T/As: Postal Address
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Fax 07 5571 1088 Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	R/PEQ 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-020	A



EARTHWORKS

- 1. TOPSOIL STRIPPING**
TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT AND FILL AREAS AND SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
- 2. EARTHWORKS LEVELS**
EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS AND INCLUDE 100mm OF TOPSOIL.
- 3. COMPACTION STANDARD**
SITE FILLING AND TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS.
- 4. PAVEMENT DEPTHS**
THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY AND MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN AND AUTHORITY APPROVAL.
- 5. TESTING AND CERTIFICATION**
ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS.
- 6. TOPSOIL REPLACEMENT**
ALL FOOTPATHS, BATTERS AND ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES.
- 7. GRASSING**
ALL CUT/FILL AREAS, DISTURBED AREAS AND TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT AND AUTHORITY.
- 8. ROCK**
THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
- 9. EARTHWORKS ZONE**
THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE AND MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELLING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
- 10. CONSTRUCTION - STOCKPILING**
TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE. REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED.
- 11. TOPSOIL SCREENING**
TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- SITE BOUNDARY
- STAGE BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- 0.5 BULK EARTHWORKS FILL CONTOUR
- 0.0 BULK EARTHWORKS INTERFACE CONTOUR
- -0.5 BULK EARTHWORKS CUT CONTOUR

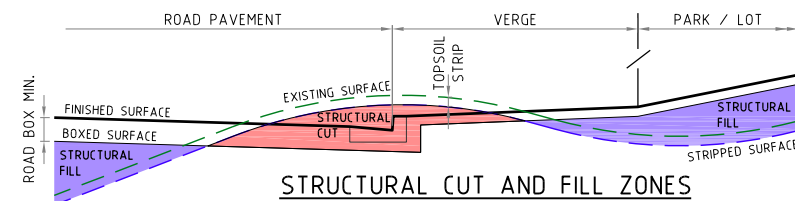
SHEET LAYOUT

35701-02B-040	35701-02B-041
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NOTES:

- EARTHWORKS VOLUMES ARE APPROXIMATE ONLY, CONTRACTOR TO VERIFY.
- VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE STRIP SURFACE AND THE UNDERSIDE OF THE MINIMUM BOX AND UNDERSIDE OF THE TOPSOIL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
- NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED.
- THE CONTRACTOR IS TO VERIFY EXISTING SURFACE AND TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT.
- THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS.



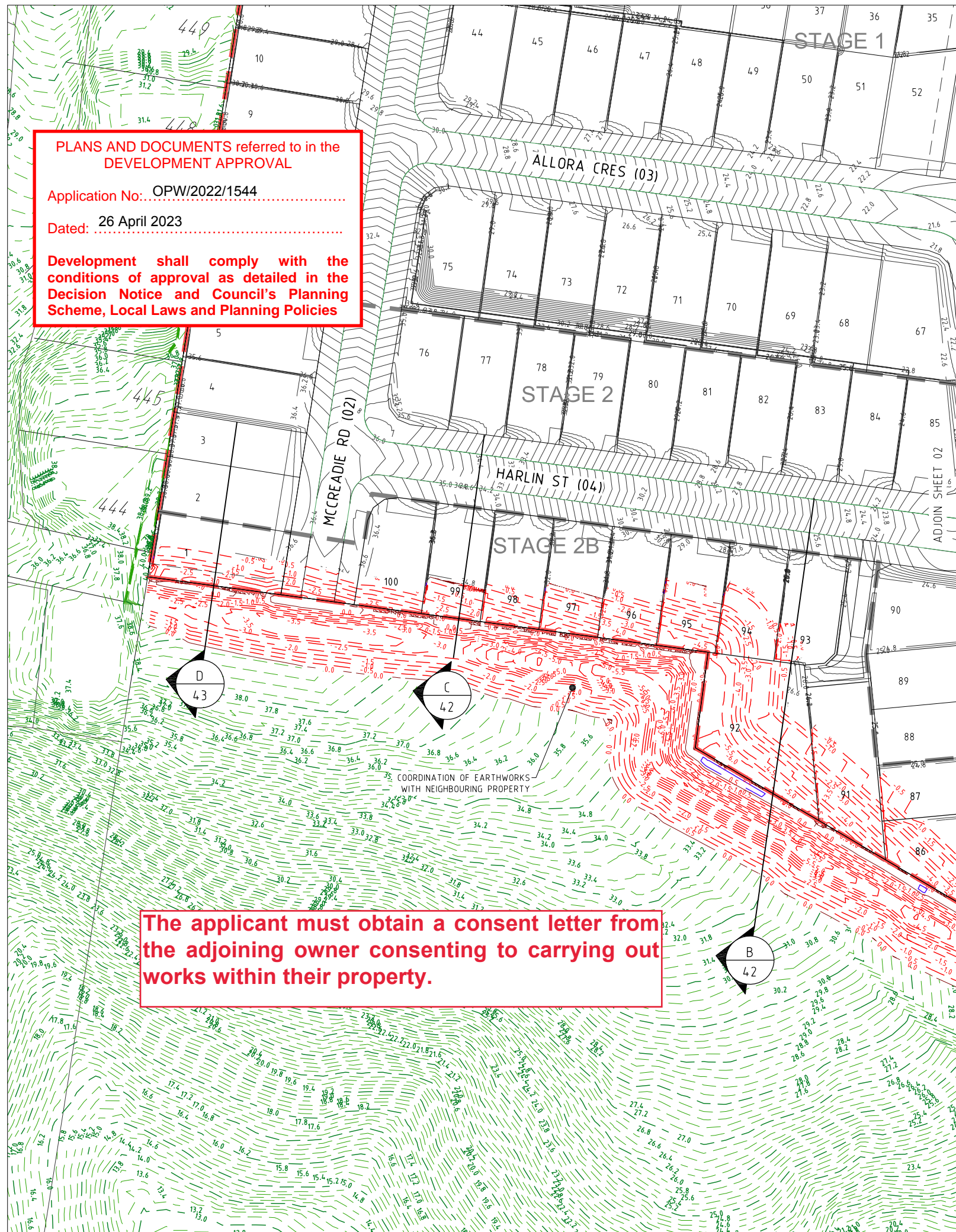
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The applicant must obtain a consent letter from the adjoining owner consenting to carrying out works within their property.



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DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



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Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

A	24-11-22	COUNCIL ISSUE
PRE DATE		AMENDMENT

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ASSOCIATED CONSULTANTS



DRAWING TITLE

**EARTHWORKS
CUT TO FILL
PLAN
SHEET 01 OF 02**

**MORTONS
urbansolutions**
Urban & Regional Planning
Civil Engineering
Project Coordination

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Fax 07 5571 1088 Southport QLD 4215

DESIGNED RB DRAWN JB

APPROVED DATE RPEQ 4706 DATE 24-11-22

DRAWING NUMBER 35701-02B-040 AMEND. A

LEGEND

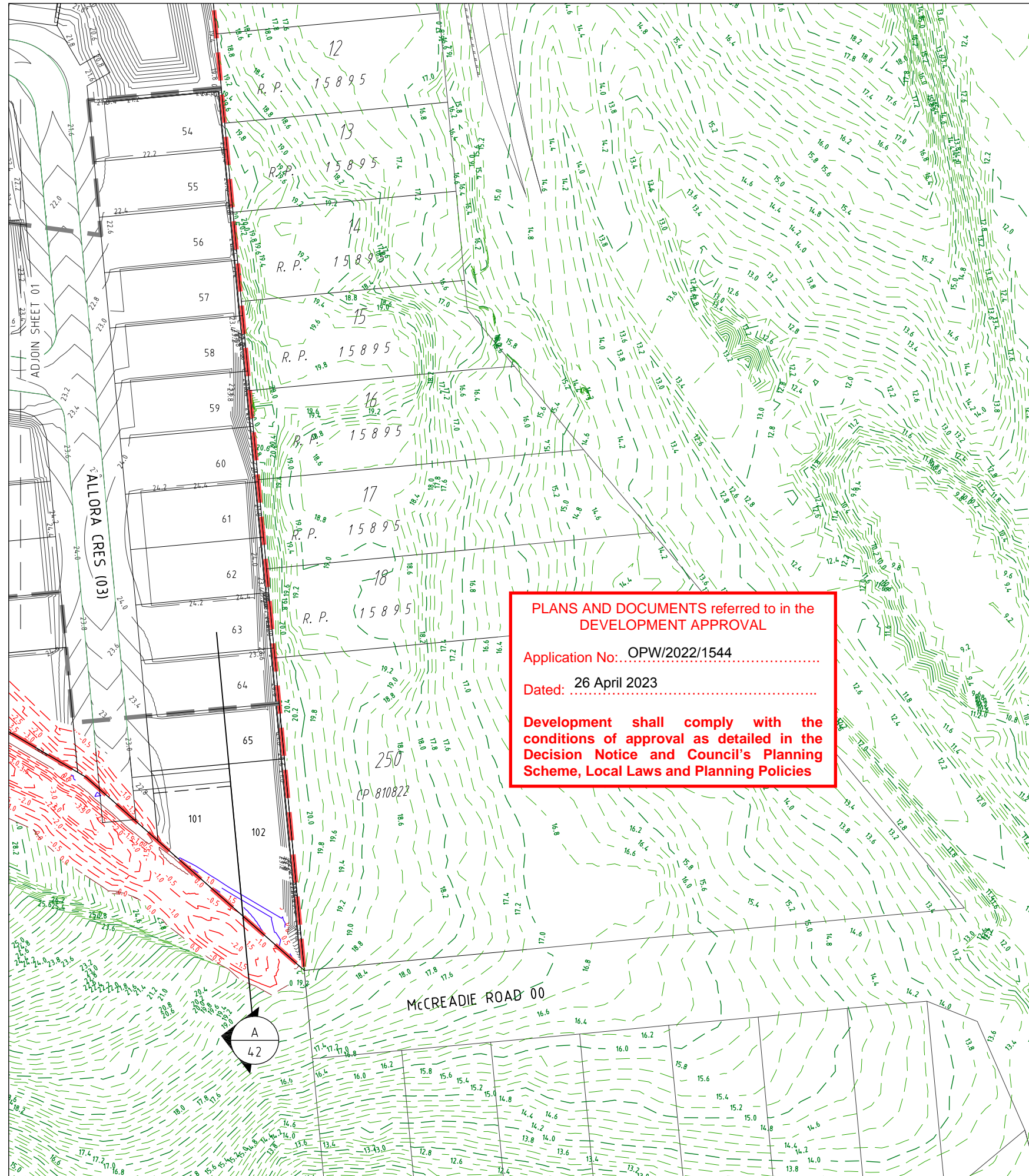
- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- - - FUTURE KERB (INVERT)
- - - FUTURE PROPERTY LINE
- SITE BOUNDARY
- STAGE BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
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- 0.0 BULK EARTHWORKS INTERFACE CONTOUR
- -0.5 BULK EARTHWORKS CUT CONTOUR

NOTE:
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SHEET LAYOUT

35701-02B-040	35701-02B-041
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**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1500 - A1 (1:1000 - A3)

ISSUES	DATE
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COUNCIL	24-11-22
CONSTRUCTION	..

A	PRE DATE	AMENDMENT
	24-11-22	COUNCIL ISSUE

ASSOCIATED CONSULTANTS



DRAWING TITLE

**EARTHWORKS
CUT TO FILL
PLAN
SHEET 02 OF 02**

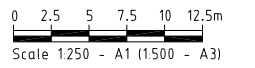


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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	REP 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-041	A



ISSUES	DATE
TENDER	10-01-20
COUNCIL	30-04-20
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

EARTHWORKS CUT TO FILL SECTIONS SHEET 01



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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	RP EQ 4706 DATE 21-09-22

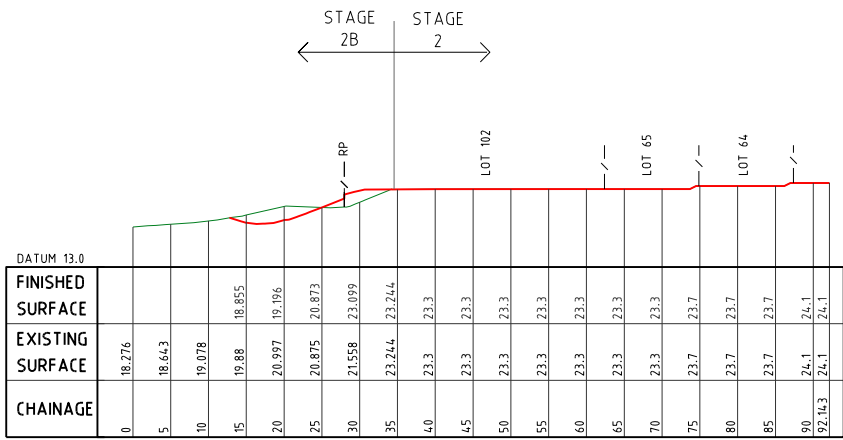
DRAWING NUMBER	AMEND.
35701-02B-042	A

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

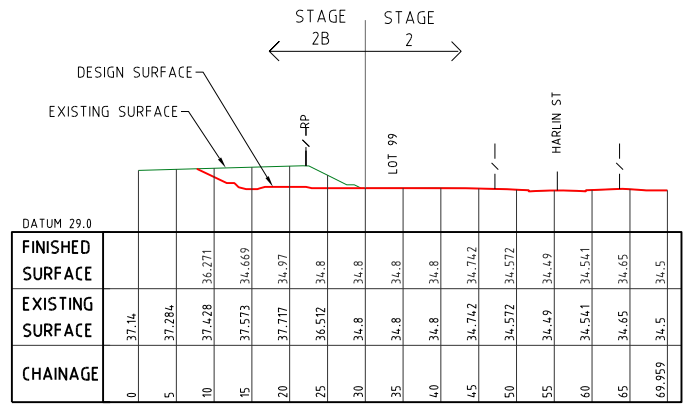
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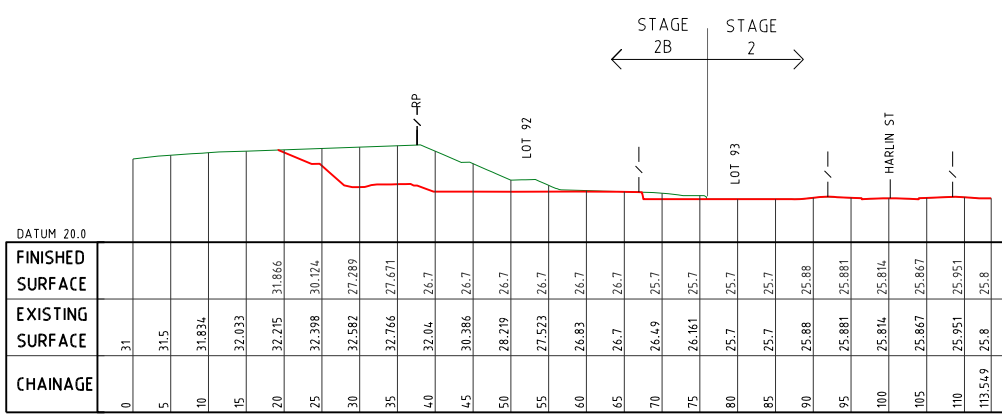


LONGITUDINAL SECTION A
Horizontal scale 1500
Vertical scale 1500

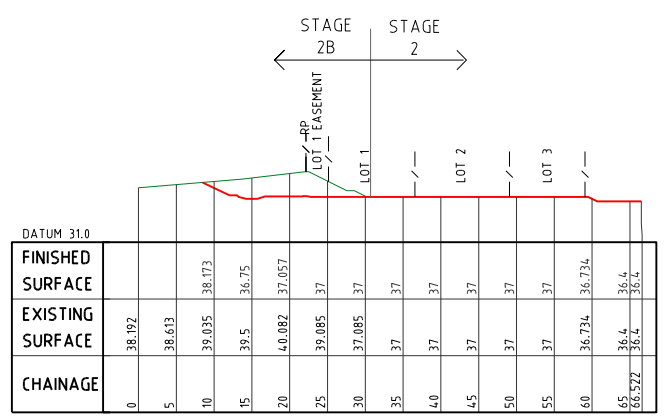


LONGITUDINAL SECTION C
Horizontal scale 1500
Vertical scale 1500

The applicant must obtain a consent letter from the adjoining owner consenting to carrying out works within their property.



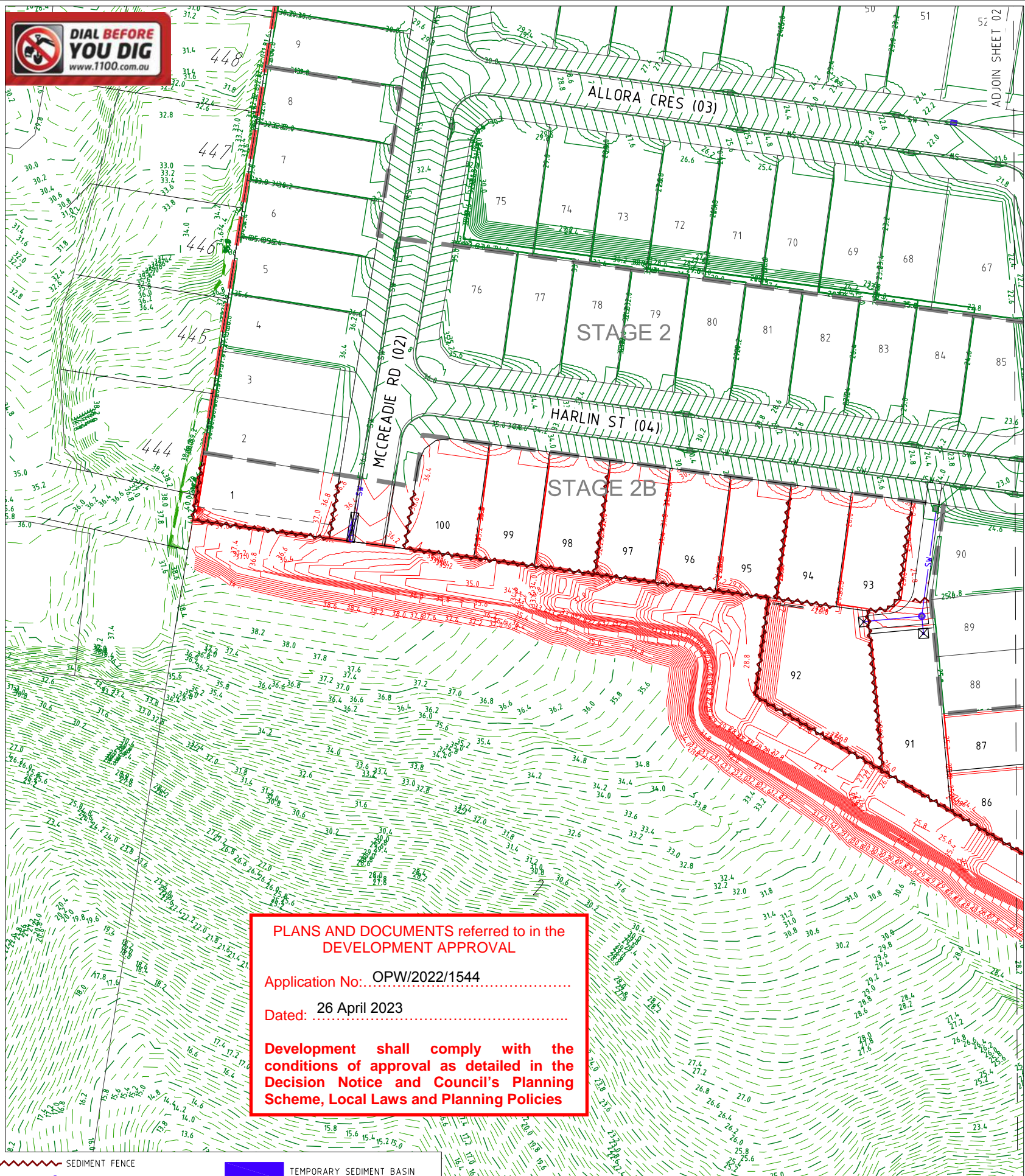
LONGITUDINAL SECTION B
Horizontal scale 1500
Vertical scale 1500



LONGITUDINAL SECTION D
Horizontal scale 1500
Vertical scale 1500

SEDIMENT AND EROSION

- THE EROSION AND SEDIMENT CONTROL DEVICES SHOWN ON THESE DRAWINGS ARE INDICATIVE AND PROVIDED FOR SUBMISSION TO LOCAL AUTHORITY ONLY. NOTWITHSTANDING THE EROSION AND CONTROL DEVICES SHOWN ON THESE DRAWINGS, THE CONTRACTOR MUST PREPARE AND FOLLOW A SITE SPECIFIC EROSION AND SEDIMENT CONTROL PLAN TO MEET ALL LOCAL AND STATE GOVERNMENT LEGISLATION INCLUDING BUT NOT LIMITED TO:
 - ENVIRONMENTAL PROTECTION ACT WITH SPECIFIC REFERENCE TO PARTS S440G AND S319
 - STATE PLANNING POLICY
 PRESCRIBED WATER CONTAMINANTS (AS DEFINED IN THE ENVIRONMENTAL PROTECTION ACT 1994) MUST NOT BE RELEASED FROM THE SITE OR TO WATERS WITHIN THE SITE, OR BE LIKELY TO BE RELEASED SHOULD RAINFALL OCCUR, UNLESS ALL REASONABLE AND PRACTICABLE MEASURES ARE TAKEN TO PREVENT OR MINIMISE THE RELEASE AND CONCENTRATION OF CONTAMINATION. THE ESC PLAN MUST BE DESIGNED, IMPLEMENTED AND MAINTAINED IN ACCORDANCE WITH "BEST PRACTICE EROSION AND SEDIMENT CONTROL" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2008).
- TO COMPLY WITH THE REQUIREMENTS OF THE EP ACT AND BEST PRACTICE DESIGN, THE SEDIMENT BASINS ON THE SITE MUST BE DESIGNED AND IMPLEMENTED TO ACHIEVE THE FOLLOWING:
 - SEDIMENT BASINS ARE TO BE DESIGNED, IMPLEMENTED AND MAINTAINED TO A STANDARD WHICH WOULD ACHIEVE AT LEAST 80% OF THE AVERAGE ANNUAL RUNOFF VOLUME OF THE CONTRIBUTING CATCHMENT TREATED (I.E. 80% HYDROLOGIC EFFECTIVENESS) TO 50MG/L TSS OR LESS AND PH IN THE RANGE 6.5-8.5
 - THIS WILL REQUIRE THE INSTALLATION AND OPERATION OF A HIGH-EFFICIENCY SEDIMENT BASIN(S) DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE "BEST PRACTICE EROSION AND SEDIMENT CONTROL - APPENDIX B SEDIMENT BASIN DESIGN AND OPERATION" PUBLISHED BY THE INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIAN CHAPTER) (IECA, 2016, DRAFT)
- THE EROSION AND SEDIMENT CONTROL PLAN MUST BE PREPARED AND CERTIFIED BY A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AND FOLLOW THE REQUIREMENTS OUTLINED IN IECA'S BEST PRACTICE EROSION AND SEDIMENT CONTROL DOCUMENT AND THE QUEENSLAND URBAN DRAINAGE MANUAL.
- PRIOR TO THE COMMENCEMENT OF WORKS ONSITE THE CONTRACTOR MUST MAKE THEMSELVES AWARE OF ALL PREVIOUS GEOTECHNICAL REPORTS AND DETERMINE THE DISPERSIVE CHARACTERISTICS OF THE SOIL (INCLUDING PERFORMING ANY SOIL TESTS IF REQUIRED). THE RESULTS OF THIS REVIEW AND ANY TESTS MUST BE INCLUDED IN THE CONTRACTOR'S EROSION AND SEDIMENT CONTROL PLAN. A COPY OF ALL TEST RESULTS MUST BE PROVIDED TO THE SUPERINTENDENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL EROSION AND DOWNSTREAM SEDIMENTATION DURING ALL STAGES OF CONSTRUCTION (INCLUDING THE MAINTENANCE PERIOD). NOTWITHSTANDING THE CONTROL MEASURES OR FINISHED EARTHWORKS DESIGN SHOWN ON THESE DRAWINGS, THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL OR ALTERNATIVE EROSION & SEDIMENT CONTROL MEASURES TO MINIMISE SEDIMENT ACROSS OR LEAVING THE SITE.
- AT ALL TIMES THE CONTRACTOR SHALL MONITOR THE PREVAILING WEATHER CONDITIONS (INCLUDING WEEKENDS AND PUBLIC HOLIDAYS) AND AT ALL TIMES REMAINS RESPONSIBLE TO:
 - CLEAN AND REPAIR CONTROL DEVICES WHENEVER THE ACCUMULATED SEDIMENT REDUCES THEIR CAPACITY BY 50%.
 - MAINTAIN POSITIVE GRADES OF ALL PERIMETER BANKS AND SWALES TO AN OUTLET.
 - PROTECT ANY DOWNSTREAM CONSTRUCTION.
 - CONTROLLING DUST.
 - MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH DETAILS OUTLINED IN THEIR EROSION AND SEDIMENT CONTROL PLAN AND AS DIRECTED BY THE SUPERINTENDENT.
- THE CONTRACTOR'S PLAN SHALL ALLOW FOR SUITABLE ACCESS TO ALLOW MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. NO ADDITIONAL VEGETATION CLEARING IS PERMITTED FOR GAINING ACCESS UNLESS APPROVED BY THE SUPERINTENDENT.
- THE CONTRACTOR MAY REQUEST APPROVAL FROM THE SUPERINTENDENT TO REUSE THE STOCKPILED MULCH FOR STABILISING BATTERS ONLY IN LOCATIONS WHERE THE APPROVED LANDSCAPE OPW DESIGN REQUIRES MULCH ULTIMATELY.
- CONSTRUCTION STOCKPILING
 - TOPSOIL SHALL BE STRIPPED AND STOCKPILED IN LOCATIONS NOMINATED ON THE CONSTRUCTION DRAWINGS OR IN LOCATIONS AGREED WITH THE SUPERINTENDENT.
 - ADDITIONAL VEGETATION CLEARING IS NOT PERMITTED TO FACILITATE THE STOCKPILING OF MATERIALS UNLESS SHOWN ON THE APPROVED VEGETATION MANAGEMENT PLAN.
 - ANY STOCKPILE SITE MUST BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES.
 - NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE OF VEGETATION.
 - A TEMPORARY SILT FENCE IS TO BE ERRECTED APPROXIMATELY 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING.
- NOTWITHSTANDING THE DETAILS SHOWN IN THE CONTRACTOR'S EROSION AND SEDIMENT CONTROL PLAN, DURING CONSTRUCTION THE CONTRACTOR MUST:
 - SIZE ALL TEMPORARY SEDIMENT BASINS APPROPRIATELY TO TREAT THE UPSTREAM CATCHMENT. NOTE THAT THE PERMANENT BIO BASINS SHOWN ON THESE DRAWINGS ARE SIZED FOR THE ULTIMATE CATCHMENT NOT FOR THE CONSTRUCTION PHASE.
 - PLACE A ROCK BUND AROUND ALL HEADWALLS DURING CONSTRUCTION.
 - PROVIDE KERB INLET PROTECTION TO ALL GULLIES.
 - PLACE A MINIMUM 1.0m WIDE TURF STRIP BEHIND ALL KERBS AND IN A HERRINGBONE LAYOUT WITHIN THE ROAD VERGE.
 - MAINTENANCE (INCLUDING FLOCCULATION IF REQUIRED AND PUMP OUT) OF ALL CONSTRUCTION SEDIMENT BASINS (WHETHER EXISTING OR NEW).
 - CLEAN OUT OF ALL GROSS POLLUTANT TRAPS, SEDIMENT FOREBAYS AND ALL OTHER PERMANENT SEDIMENT CONTROL DEVICES AT BOTH ON AND OFF MAINTENANCE.
- CONTRACTOR TO CONFIRM THE EXTENTS OF REQUIRED GRASSING TREATMENTS WITH THE SUPERINTENDENT AT LEAST 7 DAYS PRIOR TO FINAL TRIMMING.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT GRASSING STRIKE RATES ARE ACHIEVED AT THE ON AND OFF MAINTENANCE INSPECTIONS IN ACCORDANCE WITH COUNCIL REQUIREMENTS. THIS INCLUDES THE SUPPLY AND INSTALLATION OF ANY REQUIRED CHEMICAL/FERTILISER AMELIORATION TO ACHIEVE THE SPECIFIED GRASS STRIKE RATES.
- GEOTEXTILE LINING OF CHANNELS AND CHECK DAMS MAY BE REQUIRED SUBJECT TO THE SITE CONDITIONS.
- BATTERS WITHIN PUBLIC OPEN SPACE TO BE VEGETATED IN ACCORDANCE WITH APPROVED OPEN SPACE MANAGEMENT PLAN AND LANDSCAPING OPW. CONTRACT DOCUMENTATION WILL SPECIFY WHETHER THIS IS THE CIVIL CONTRACTOR OR THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO SUPPLY AND INSTALL. THE CIVIL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE ACCESS FOR THE LANDSCAPE CONTRACTOR TO PERFORM THEIR WORKS.
- MAINTENANCE PERIOD (PRE TO POST CONSTRUCTION)
 - ALL PROTECTION MEASURES ARE TO BE INSPECTED AND MAINTAINED REGULARLY
 - REPAIRS ARE TO BE EFFECTED IMMEDIATELY.
 - SILT AFTER RAIN IS TO BE CLEANED FROM STREETS AND ALLOTMENTS IMMEDIATELY AND CORRECTIVE ACTION TAKEN TO AVOID A RE-OCCURRENCE.
 - AT OFF-MAINTENANCE AND ONLY WHEN DIRECTED BY COUNCIL, REMOVE AND DISPOSE OFFSITE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

LEGEND

- | | | | |
|----------------------------|--------------------------|------------------------|-----------------------------|
| — EXISTING PROPERTY LINE | — 1.0 — FUTURE CONTOURS | — SEDIMENT FENCE | — TEMPORARY SEDIMENT BASIN |
| — EXISTING KERB (INVERT) | — SITE BOUNDARY | ● MANHOLE | — KERB INLET (ON GRADE) PIT |
| — SW — EXISTING STORMWATER | — STAGE BOUNDARY | — KERB INLET (SAG) PIT | — STORMWATER INLET FILTER |
| — 1.0 — EXISTING CONTOURS | — PROPOSED PROPERTY LINE | — HEADWALL | — ROCK CHECK DAM |
| — FUTURE PROPERTY LINE | — PROPOSED KERB (INVERT) | — SCOUR PROTECTION | — VEHICLE SHAKEDOWN |
| — FUTURE KERB (INVERT) | — PROPOSED STORMWATER | — TREES | |
| — SW — FUTURE STORMWATER | — 1.0 — DESIGN CONTOURS | | |

NOTE:
SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATES TO THE FINISHED SURFACE ONLY. THE CONTRACTOR IS TO PREPARE A CONSTRUCTION PHASE SEDIMENT AND EROSION CONTROL PLAN.

SHEET LAYOUT

35701-02B-070	35701-02B-071
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PROJECT NAME
DALMA

OPERATIONAL WORKS
STAGE 2B

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD

NORTH

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A 24-11-22	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS

dts

BIOME
WATER AND ENVIRONMENTAL CONSTRUCTION

DRAWING TITLE
FINAL SURFACE AND SEDIMENT AND EROSION PLAN SHEET 01 OF 02

MORTONS
urbansolutions
Urban & Regional Planning
Civil Engineering
Project Coordination

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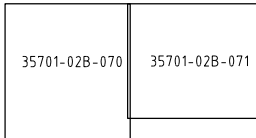
mortons@urbansolutions.net.au Gold Coast Office
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Tel 07 5571 1099 Southport QLD 4215
Fax 07 5571 1088

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	PER 4706 DATE 24-11-22
DRAWING NUMBER 35701-02B-070	AMEND. A

LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- SW — EXISTING STORMWATER
- 1.0 — EXISTING CONTOURS
- - - FUTURE PROPERTY LINE
- - - FUTURE KERB (INVERT)
- - - SW — FUTURE STORMWATER
- - - 1.0 — FUTURE CONTOURS
- SITE BOUNDARY
- STAGE BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- SW — PROPOSED STORMWATER
- 1.0 — DESIGN CONTOURS
- SEDIMENT FENCE
- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SCOUR PROTECTION
- TEMPORARY SEDIMENT BASIN
- STORMWATER INLET FILTER
- ROCK CHECK DAM
- VEHICLE SHAKEDOWN
- TREES

SHEET LAYOUT



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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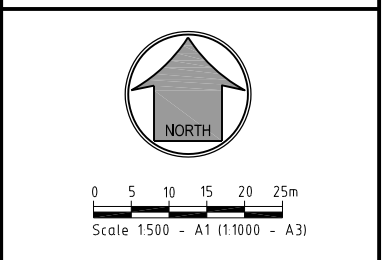


NOTE:
 SEDIMENT AND EROSION CONTROL MEASURES SHOWN RELATES TO THE FINISHED SURFACE ONLY.
 THE CONTRACTOR IS TO PREPARE A CONSTRUCTION PHASE SEDIMENT AND EROSION CONTROL PLAN.



PROJECT NAME
DALMA
 OPERATIONAL WORKS
 STAGE 2B
 RP DESCRIPTION Lot 4 RP883725 , LOT 4
 DALMA STREET ORMEAU HILLS
 LOCALITY OF ORMEAU
 LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

A	24-11-22	COUNCIL ISSUE
PRE	DATE	AMENDMENT

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DRAWING TITLE

**FINAL SURFACE AND
 SEDIMENT AND EROSION
 PLAN
 SHEET 02 OF 02**

Urban & Regional Planning
 Civil Engineering
 Project Coordination

MUS Pty Ltd T/As: Mortons-Urban Solutions ABN 39 116 375 065 mortons@urbansolutions.net.au www.urbansolutions.net.au	Postal Address PO Box 2484 Southport QLD 4215	Gold Coast Office Suite 9, 19 Short St Southport QLD 4215
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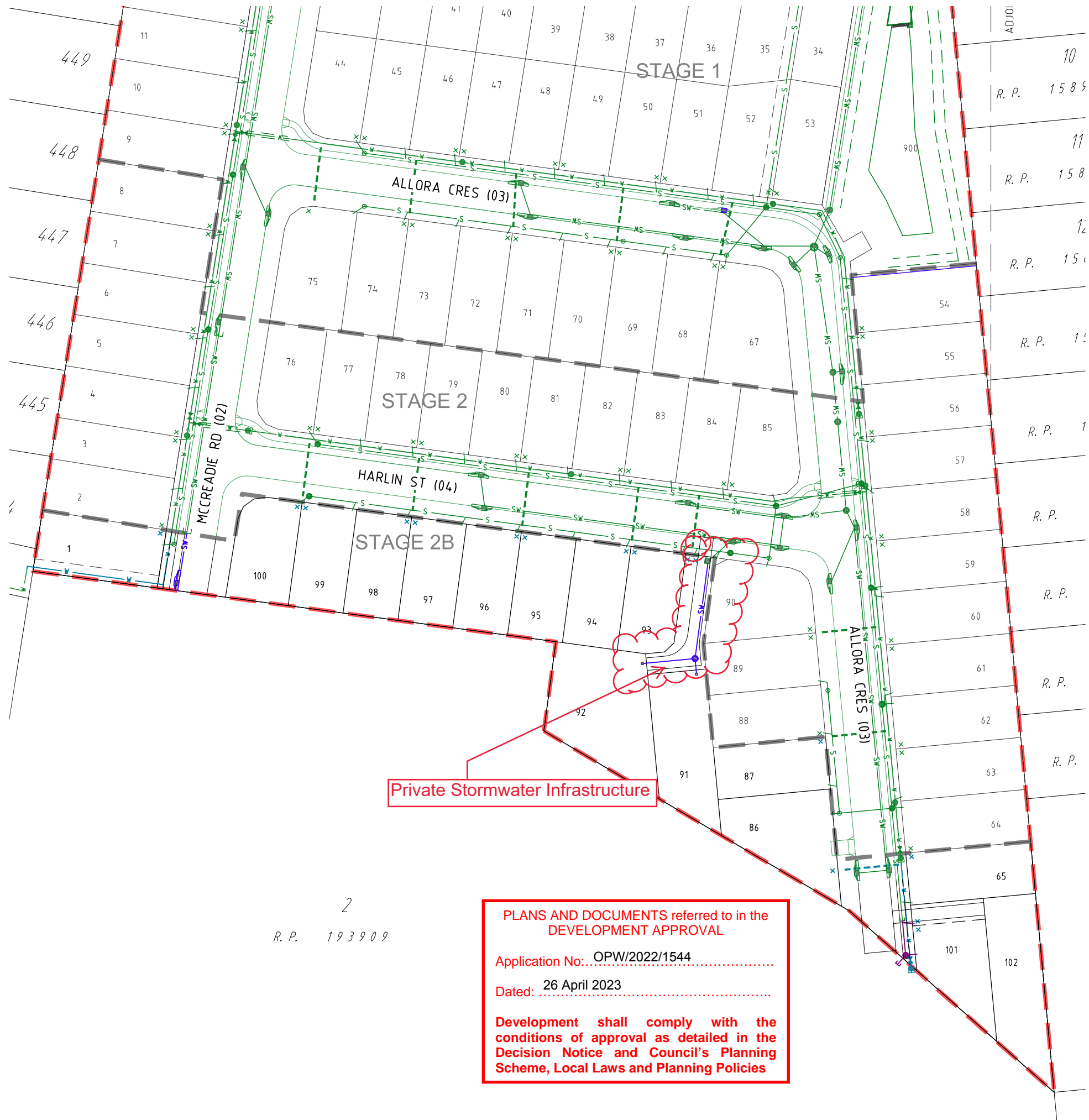
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APPROVED <i>[Signature]</i>	DATE 24-11-22
DRAWING NUMBER	AMEND.
35701-02B-071	A

CONSTRUCTION SERVICES

1. CONSTRUCTION OF SEWER/ROOFWATER/STORMWATER/SERVICES EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH AND TO PROTECT PIPE WORK AND DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS. TOPSOIL AND GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER AND ROOFWATER DRAINAGE CONSTRUCTION. DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
2. TRIP HAZARD MANHOLES OR STRUCTURES INSTALLED IN THE ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY WITH NO TRIP HAZARD.
3. EXISTING SERVICES - EXTERNAL WORKS THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES AND TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- EXISTING FOOTPATH
- RM --- RM --- EXISTING RISING MAIN
- S --- S --- EXISTING SEWER
- SW --- SW --- EXISTING STORMWATER
- RW --- RW --- EXISTING ROOFWATER
- SS --- SS --- EXISTING SUBSOIL
- W100 --- W100 --- EXISTING WATER
- W150 --- EXISTING WATER
- W200 --- EXISTING WATER
- W225 --- EXISTING WATER
- W250 --- EXISTING WATER
- W300 --- EXISTING WATER
- EXISTING WATER CONDUIT
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED FOOTPATH
- RM --- RM --- PROPOSED RISING MAIN
- S --- S --- PROPOSED SEWER
- SW --- SW --- PROPOSED STORMWATER
- RW --- RW --- PROPOSED ROOFWATER
- SS --- SS --- PROPOSED SUBSOIL
- W100 --- W100 --- PROPOSED WATER
- W150 --- PROPOSED WATER
- W200 --- PROPOSED WATER
- W225 --- PROPOSED WATER
- W250 --- PROPOSED WATER
- W300 --- PROPOSED WATER
- PROPOSED WATER CONDUIT
- FUTURE PROPERTY LINE
- FUTURE KERB (INVERT)
- FUTURE FOOTPATH
- RM --- RM --- FUTURE RISING MAIN
- S --- S --- FUTURE SEWER
- SW --- SW --- FUTURE STORMWATER
- RW --- RW --- FUTURE ROOFWATER
- SS --- SS --- FUTURE SUBSOIL
- W100 --- W100 --- FUTURE WATER
- W150 --- FUTURE WATER
- W200 --- FUTURE WATER
- W225 --- FUTURE WATER
- W250 --- FUTURE WATER
- W300 --- FUTURE WATER
- FUTURE WATER CONDUIT
- SITE BOUNDARY
- STAGE BOUNDARY



Private Stormwater Infrastructure

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

2
R. P. 193909



PROJECT NAME

DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



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**COMBINED SERVICES
PLAN
SHEET 01**



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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	DATE 24-11-22
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35701-02B-090	A

ROADWORKS

1. PAVEMENT DEPTHS
 - a) THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS ON DRAWING 120.
 - b) THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY AND MAY BE VARIED AFTER SUB-GRADE TESTS ARE TAKEN. THE CONTRACTOR IS TO PROVIDE THE SUPERINTENDENT A SUBGRADE C.B.R. REPORT PREPARED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. THE SUPERINTENDENT WILL COORDINATE THE AUTHORITIES APPROVAL OF THE PAVEMENT DESIGN.
 - c) REFER TO DWG. 120 FOR TYPICAL ROAD SECTIONS.
2. TESTING

ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
3. SUBSOIL DRAINS

SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS. SUBSOIL DRAINS SHALL BE PLACED UNDER ALL KERB STRUCTURES AND ARE TO BE CONSTRUCTED TO A DEPTH GREATER THAN THAT OF THE INVERT OF THE DEEPEST SERVICE CROSSING.
4. MITRE DRAINS

MITRE DRAINS ARE TO BE CONSTRUCTED ALONG THE CUT/FILL INTERFACE AND SAG/LOW POINTS OF ALL ROADS. CONTRACTOR TO REQUEST DIRECTION FROM SUPERINTENDENT WHETHER TO INSTALL MITRE DRAIN AT ROCK ENCOUNTERED IN SUBGRADE. ALL MITRE DRAINS MUST BE FREE DRAINING AND TIE INTO THE ADJACENT SUBSOIL DRAINS.
5. ROCK

THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR RATES.
6. TURF

1.0m TURF STRIP TO BE INSTALLED BEHIND THE BACK OF ALL KERBS. A PERPENDICULAR TURF STRIP AT MAXIMUM 10m INCREMENTS MUST BE INSTALLED TO FULL VERGE WIDTH FOR SEDIMENT AND EROSION CONTROL PURPOSES.
7. KERBS

ALL KERBS TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY STANDARDS
8. PAVEMENT TIE-IN

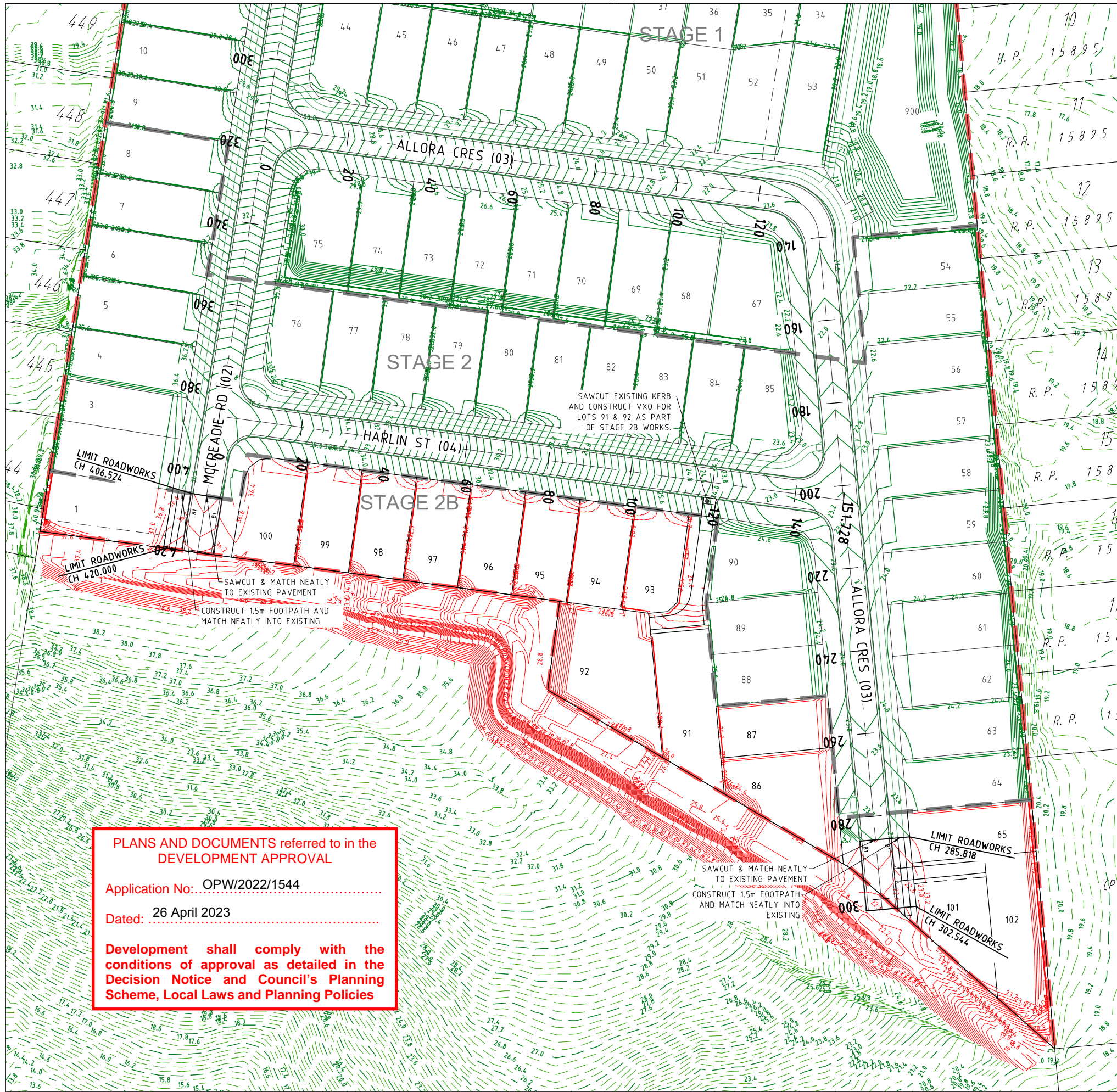
PAVEMENT TIE-IN TO BE IN ACCORDANCE WITH DWG. 120

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- FUTURE KERB
- FUTURE FOOTPATH
- FUTURE PROPERTY LINE
- FUTURE CONTOURS
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE
- SITE BOUNDARY
- STAGE BOUNDARY
- DESIGN CONTOURS
- PROPOSED CONCRETE
- 41.065 CENTRELINE CHAINAGE

KERB TYPE NOTE:

- REFER TO DRG. 120 FOR KERB TYPES
- B1 BARRIER KERB & CHANNEL



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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PROJECT NAME
DALMA

OPERATIONAL WORKS
STAGE 2B

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD

NORTH

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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ROADWORKS PLAN SHEET 01

Urban & Regional Planning
Civil Engineering
Project Coordination

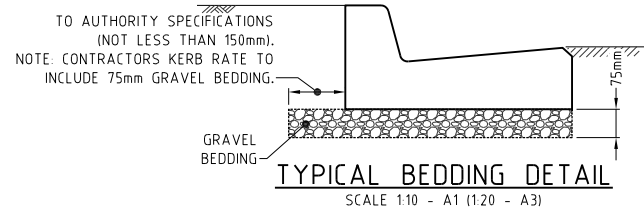
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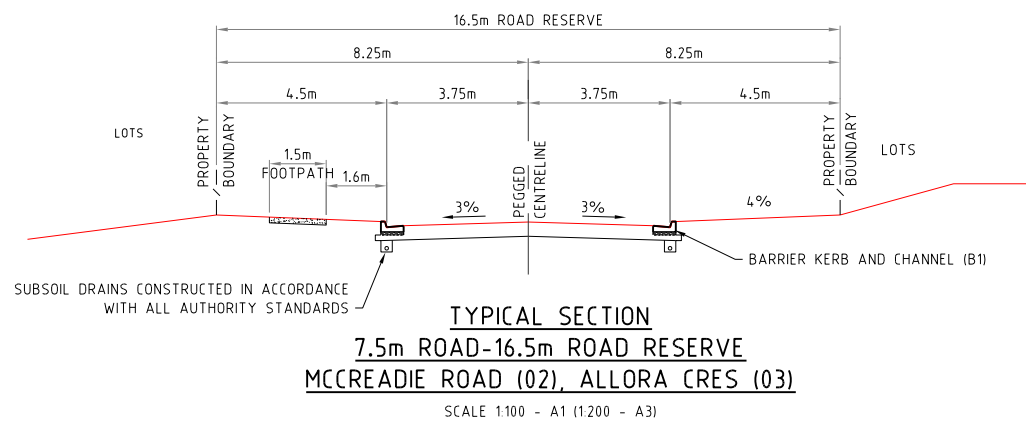
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APPROVED	RPEQ 4706 DATE 24-11-22
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35701-02B-100	A

SCHEDULE OF PAVEMENT DEPTHS							
ROAD NAME	SURFACING	BASE	SUB-BASE	LOWER SUB-BASE	CLASSIFICATION	DESA OR VPD	DESIGN GUIDE
MCCREADIE ROAD (02), ALLORA CRES (03)	25mm DG10	100mm TYPE 2.1 (CBR 60)	100mm TYPE 2.3 (CBR 35)	100mm TYPE 2.5 (CBR 15)	RESIDENTIAL ACCESS ST	401-750 VPD	COUNCIL TABLE 2.11

NOTE: THE PAVEMENT DEPTHS ARE GIVEN AS A GUIDE ONLY AND FINAL PAVEMENT DESIGN WILL BE DETERMINED AFTER CBR TESTING IS UNDERTAKEN, AND COUNCIL HAVE APPROVED THE DESIGN. PLEASE NOTE CBR10 IS MAXIMUM INSITU CBR VALUE.



SCHEDULE OF KERB TYPES		
KERB TYPE	IMAGE	REFERENCE
B1		IPWEA DWG. RS-080 NOTE: SUBSOIL DRAINS TO BE PLACED UNDER ALL KERBS.
B2		
SM3		
ER2		
M3		
M6		
CHANNEL 900		



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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PROJECT NAME

DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**

ISSUES	DATE
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COUNCIL	24-11-22
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ROADWORKS DETAILS

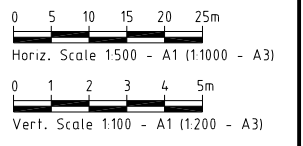
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DESIGNED RB	DRAWN JB
APPROVED	RPEQ 4706 DATE 24-11-22
DRAWING NUMBER	AMEND.
35701-02B-120	A



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ASSOCIATED CONSULTANTS



DRAWING TITLE

LONGITUDINAL SECTIONS MCCREADIE ROAD (02) & ALLORA CRES (03)



MUS Pty Ltd T/As:
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Gold Coast Office
Suite 9, 19 Short St
Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	PER 4706 DATE 24-11-22

DRAWING NUMBER
35701-02B-200

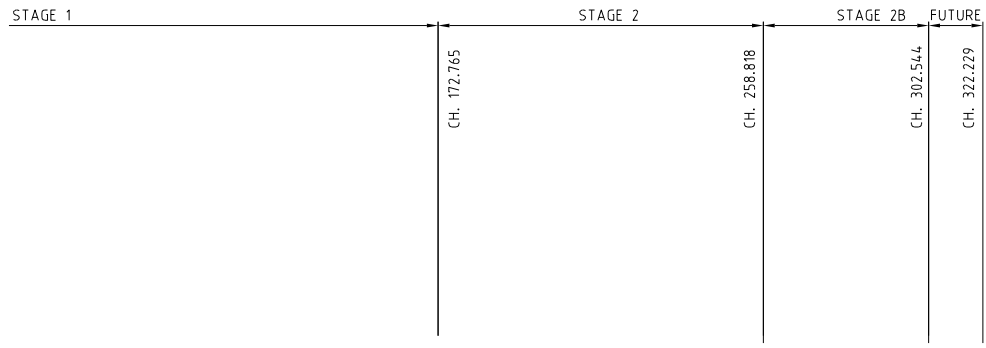
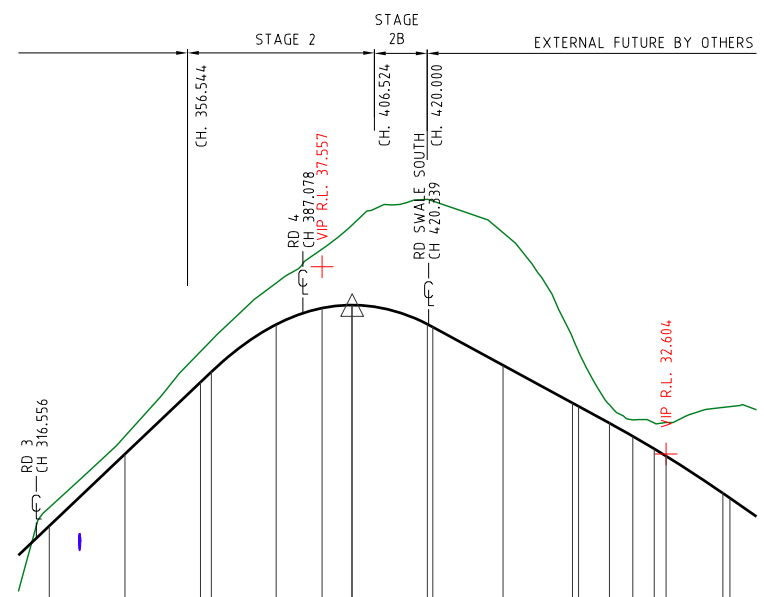
AMEND.
A

**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No: OPW/2022/1544

Dated: 26 April 2023

**Development shall comply with the
conditions of approval as detailed in the
Decision Notice and Council's Planning
Scheme, Local Laws and Planning Policies**



DESIGN GRADELINE
VERTICAL GEOMETRY
HORIZONTAL GEOMETRY
DATUM 4.0

CONTROL LINE LEVELS	EXISTING SURFACE	DEPTH	CHAINAGE
30.704	31.188	0.484	320
32.604	33.073	0.469	340
34.504	35.314	0.81	360
34.775	35.608	0.833	362.951
36.079	37.128	1.099	380
36.463	38.026	1.563	392.139
36.544	38.655	2.111	400
36.544	38.664	2.12	400.091
36.038	39.338	3.3	420
35.963	39.297	3.334	421.427
34.952	38.461	3.508	440
33.953	35.691	1.739	458.372
33.864	35.311	1.447	460
33.421	33.899	0.478	468.14
33.075	33.505	0.43	474.33
32.741	33.474	0.683	480
32.549	33.436	0.887	483.14
31.567	33.836	2.269	498.14
31.438	33.857	2.419	500

LONGITUDINAL SECTION MCCREADIE RD (02)

DESIGN GRADELINE
VERTICAL GEOMETRY
HORIZONTAL GEOMETRY
DATUM 4.0

CONTROL LINE LEVELS	EXISTING SURFACE	DEPTH	CHAINAGE
24.041	25.247	1.206	80
23.185	23.15	-0.035	89.67
22.41	22.721	0.312	100
22.151	22.66	0.51	104.67
21.704	22.739	1.035	119.67
21.701	22.743	1.042	120
21.643	22.816	1.173	125.677
21.613	22.846	1.232	128.606
21.575	22.892	1.317	136.2
21.58	22.908	1.328	139.109
21.584	22.912	1.328	140
21.611	22.928	1.317	143.606
21.911	22.953	1.042	158.606
21.953	22.962	1.01	160
22.553	24.623	2.07	180
23.153	25.081	1.929	200
23.745	25.437	1.692	219.747
23.752	25.441	1.688	220
24.057	25.61	1.553	240
24.058	25.606	1.549	240.596
24.058	25.606	1.549	240.596
23.787	25.322	1.535	260
23.745	25.282	1.537	261.446
23.188	24.947	1.759	280
22.588	24.834	2.246	300
22.56	24.833	2.273	300.929
22.517	24.831	2.315	302.544
22.455	24.857	2.402	305.929
22.435	24.941	2.505	309.263
22.44	25.003	2.563	310.929
22.451	25.084	2.632	312.75
22.452	25.089	2.636	312.929
22.488	25.171	2.683	315.929
22.56	25.367	2.806	318.929
22.592	25.463	2.871	320
22.659	25.609	2.949	322.229

LONGITUDINAL SECTION ALLORA CRES (03)

PROJECT NAME

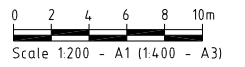
DALMA

OPERATIONAL WORKS STAGE 2B

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

ORMEAU
DEVELOPMENTS
PTY LTD



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE	DATE	AMENDMENT
A	24-11-22	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

CROSS SECTIONS
MCCREADIE ROAD (02)
ALLORA CRES (03)



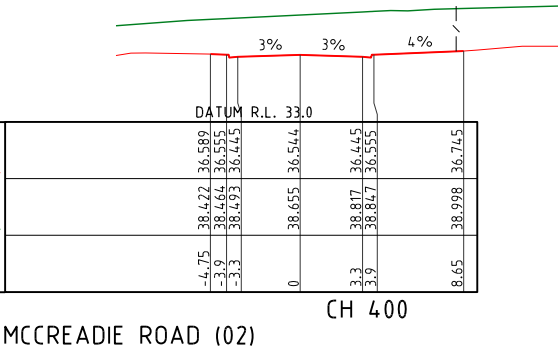
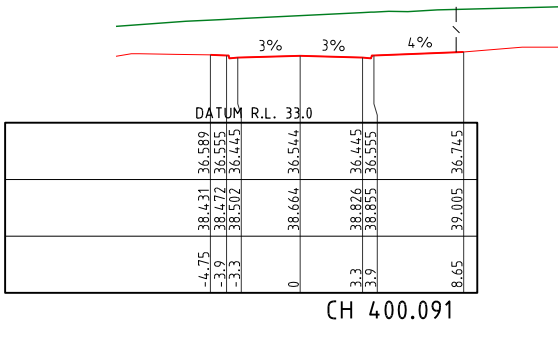
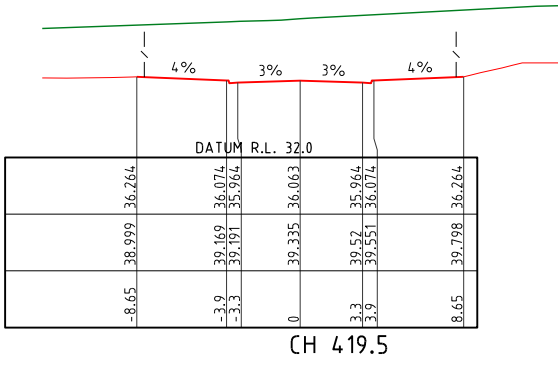
MUS Pty Ltd T/As:
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Suite 9, 19 Short St
Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	DATE 24-11-22

DRAWING NUMBER
35701-02B-300

AMEND.
A



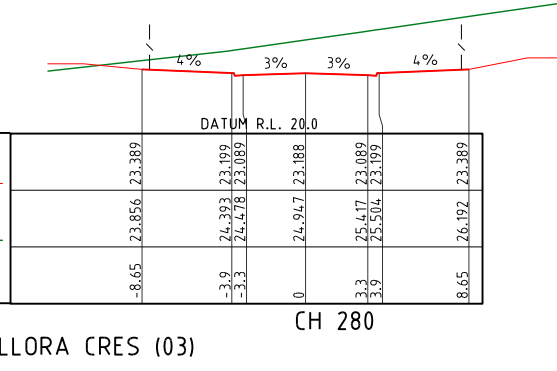
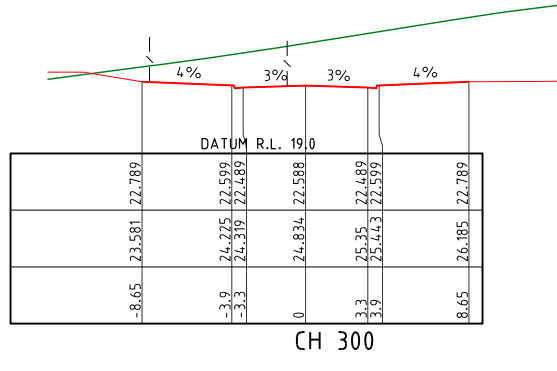
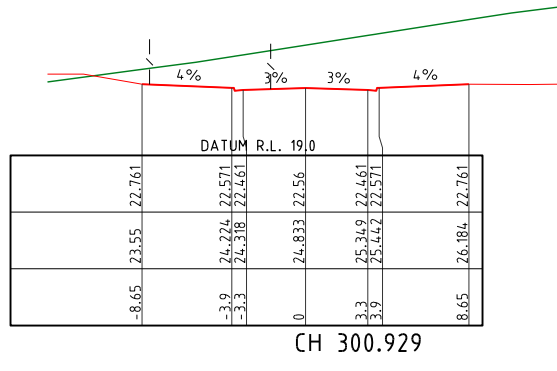
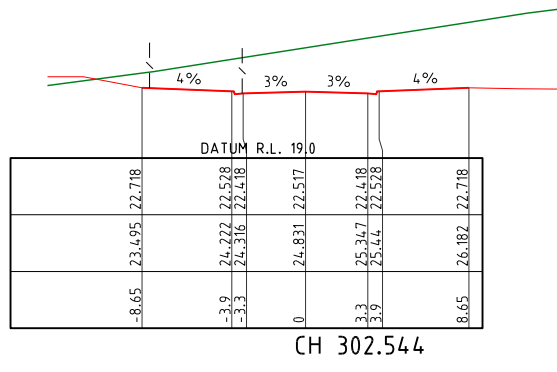
MCCREADIE ROAD (02)

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



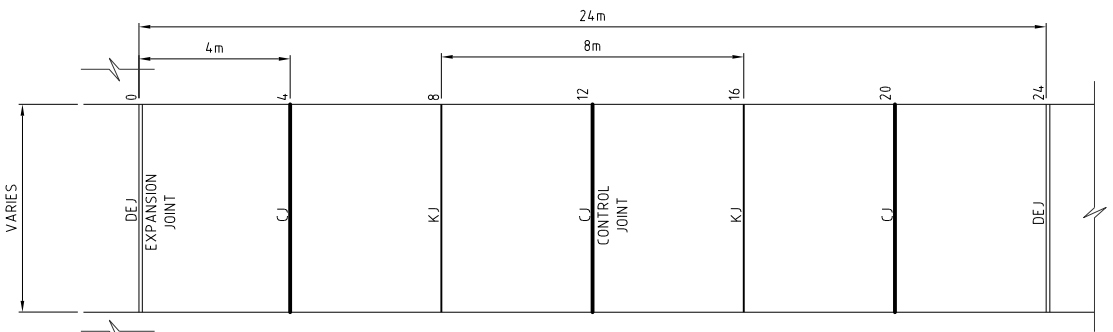
ALLORA CRES (03)

NOTES:

- REFER TO 070 SERIES FINAL SURFACE PLAN DWGS FOR EARTHWORKS BEYOND ROAD RESERVE.
- CROSS SECTIONS WITH NO TEMPLATE REPRESENT CONTROL LINE LEVELS AT THAT CHAINAGE.

CONCRETE PAVEMENT DRIVEWAY:

- 1. CONCRETE MIX**
THE CONCRETE SHALL HAVE A MINIMUM 28 DAY CHARACTERISTIC COMPRESSIVE STRENGTH AS SPECIFIED IN THE SCHEDULE OF CONCRETE PAVEMENTS TABLE. MAXIMUM WATER/CEMENT RATIO OF 0.45 AND A MINIMUM CEMENT CONTENT OF 300kg/m³.
- 2. SUBGRADE PREPARATION**
THE SUBGRADE TO THE CONCRETE PAVEMENT AREAS SHALL BE PREPARED THE SAME AS CONVENTIONAL ROADS. REFER TO SCHEDULE OF CONCRETE PAVEMENTS TABLE.
- 3. TRAFFIC**
TRAFFIC SHALL NOT BE ALLOWED ON THE FINISHED CONCRETE PAVEMENT FOR AT LEAST 14 DAYS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING MEASURES TO PREVENT UNAUTHORISED ACCESS.
- 4. JOINTS**
ALL JOINTS SHALL BE LOCATED GENERALLY PERPENDICULAR TO THE CENTRELINE. ALL CONTROL JOINTS TO BE COMPLETED AS SOON AS CONCRETE HAS CURED SUFFICIENTLY SO AS NOT TO DAMAGE THE SLAB SURFACE. ALL JOINTS ARE TO BE INSTALLED AS DETAILED ON IPWEAQ STD DWG RS-065.
- 5. GENERAL**
THE GRAVEL PAVEMENT SHALL BE NEATLY PROFILED AND TRIMMED TO ENSURE CONSTANT CONCRETE DEPTHS AND PROFILES. ACTUAL CONSTRUCTION REQUIREMENTS MAY VARY FROM THE DETAILS SHOWN AND THEREFORE ALL CONSTRUCTION DETAILS SHOULD BE VERIFIED BY THE SUPERINTENDENT PRIOR TO CONSTRUCTION COMMENCING. PROVIDE ABLEFLEX BETWEEN KERB AND DRIVEWAY.
- 6. COMPLIANCE STANDARDS**
SLIP RESISTANCE OF SURFACE MATERIALS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
AS/NZS 4586: 2013 SLIP RESISTANCE OF NEW PEDESTRIAN SURFACE MATERIALS.
AS/NZS 4663: 2013 SLIP RESISTANCE MEASUREMENT OF EXISTING PEDESTRIAN SURFACES
HB A A 197: 1999 "AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS"

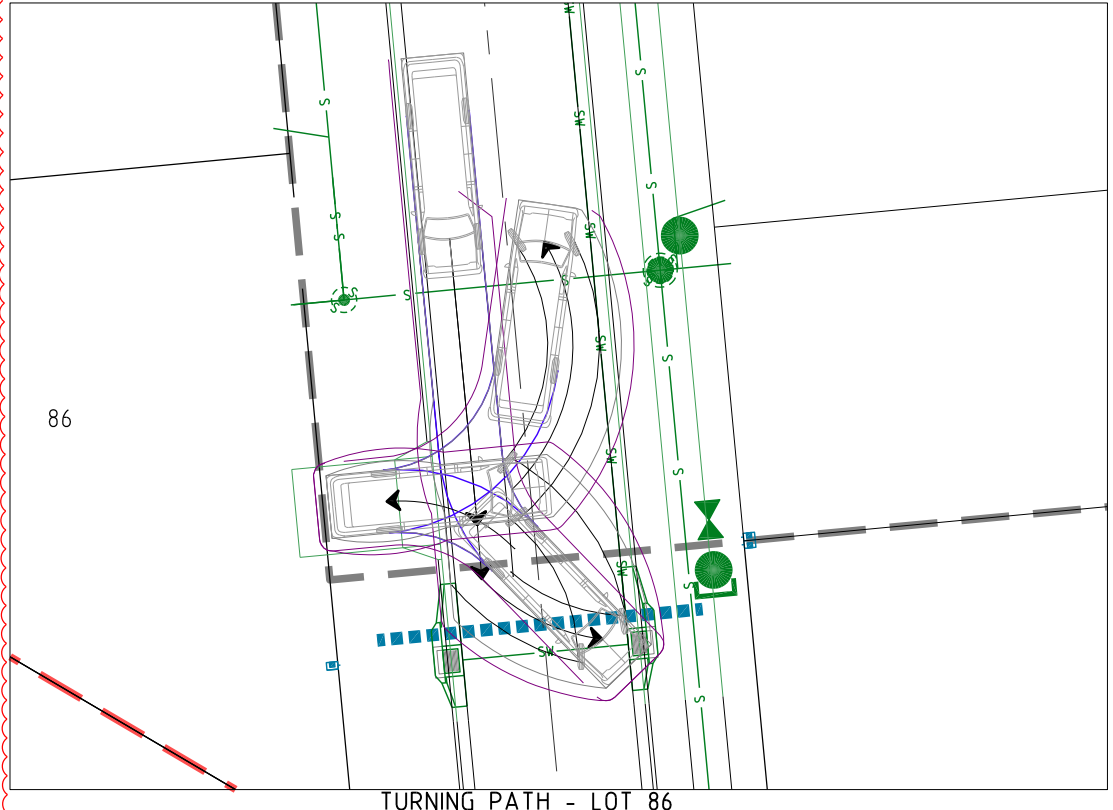
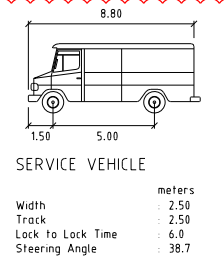


TYPICAL CONCRETE PAVEMENT DETAIL FOR DRIVEWAYS AND ROADS

SCALE 150 - A1 (1:100 - A3)

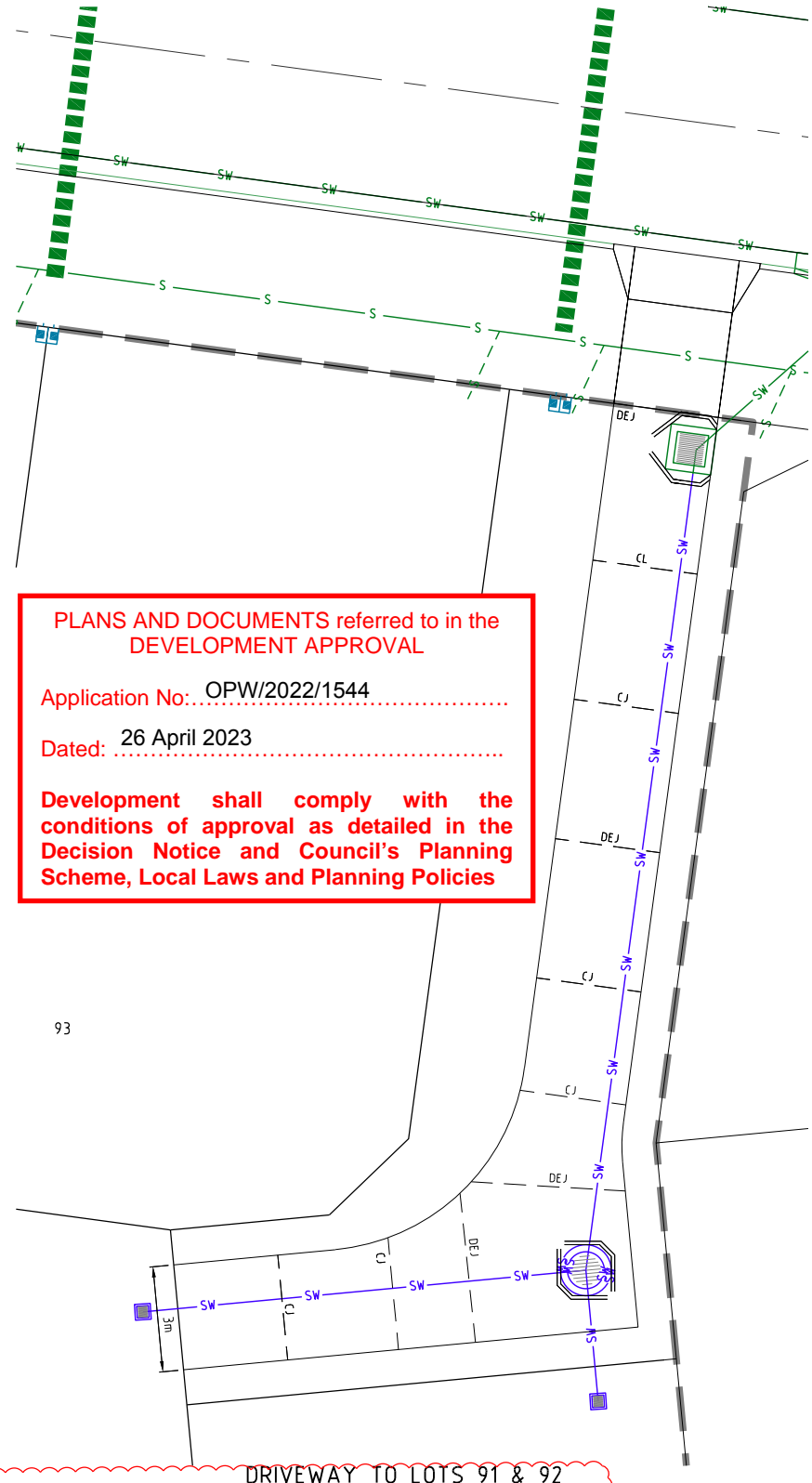
FUNCTION	SURFACING	SUBGRADE PREPARATION	THICKNESS 'T'	STRENGTH	REINFORCING
DRIVEWAY 3m WIDE	BROOM FINISH	50mm SAND BLINDING LAYER OR 100mm (CBR 15)	150mm	32 MPa	SL 82 MESH

NOTE: FOOTPATH JOINTING TO BE IN ACCORDANCE WITH IPWEAQ DRG RS-065



TURNING PATH - LOT 86

SCALE 1:150



DRIVEWAY TO LOTS 91 & 92

SCALE 1:100

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

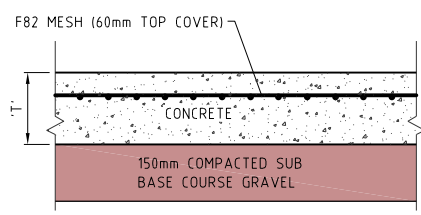
Application No.: OPW/2022/1544

Dated: 26 April 2023

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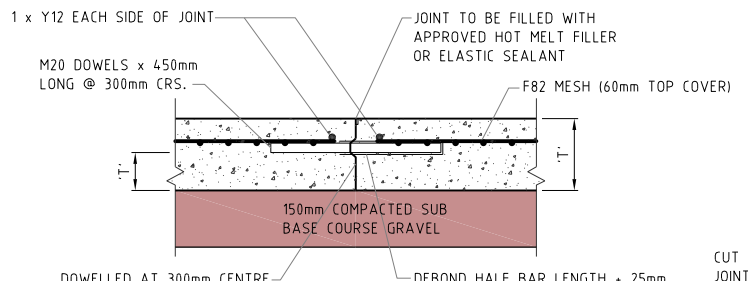
LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB
- FUTURE KERB
- FUTURE PROPERTY LINE
- PROPERTY LINE
- FACE OF KERB, FOOTPATHS
- LIP AND BACK OF KERB
- CONTROL LINE / CENTER OF ROAD
- EJ EXPANSION JOINT
- DEJ DOWELED EXPANSION JOINT
- IJ ISOLATION JOINT
- SJ SAW JOINT
- CJ CONTROL JOINT
- KJ CONTROL JOINT
- 2xN12 BARS AROUND PENETRATIONS TYP.



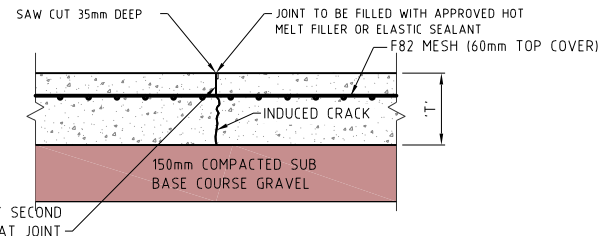
TYPICAL BROOM FINISHED CONCRETE PAVEMENT DETAIL

SCALE 1:10 - A1 (1:20 - A3)



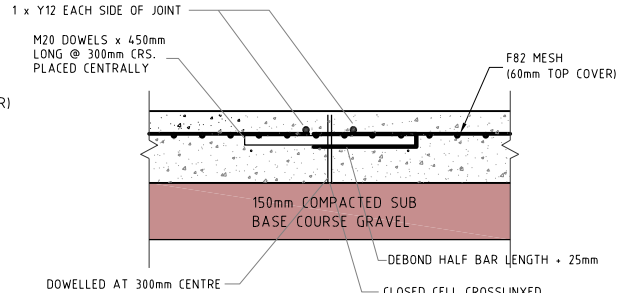
KEY JOINT DETAIL (8m SPACING) K.J.

SCALE 1:10 - A1 (1:20 - A3)



CONTROL JOINT (4m SPACING)

SCALE 1:10 - A1 (1:20 - A3)



EXPANSION JOINT DETAIL (24m SPACING) E.J.

SCALE 1:10 - A1 (1:20 - A3)

PROJECT NAME
DALMA
OPERATIONAL WORKS
STAGE 2B
RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD

Scale 150 - A1 (1:100 - A3)
Scale 1:100 - A1 (1:200 - A3)
Scale 1:150 - A1 (1:300 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
B 17-03-23	TURNING PATH ADDED
A 24-11-22	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS

DRAWING TITLE
CONCRETE JOINTING PLAN AND DETAILS

MORTONS urbansolutions
Urban & Regional Planning
Civil Engineering
Project Coordination
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ABN 39 116 375 065
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Fax 07 5571 1088
Postal Address: PO Box 2484 Southport QLD 4215
Gold Coast Office: Suite 9, 19 Short St Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED RB	PREP 4706
DATE 24-11-22	
DRAWING NUMBER 35701-02B-410	AMEND. B

LINEMARKING

1. LINE-MARKING AND SIGNAGE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". ALL SIGNAGE SHOWN IS DIAGRAMMATIC ONLY.
2. ALL SIGN POSTS & SIGN RAILS TO BE GALVANISED UNLESS NOTED OTHERWISE.

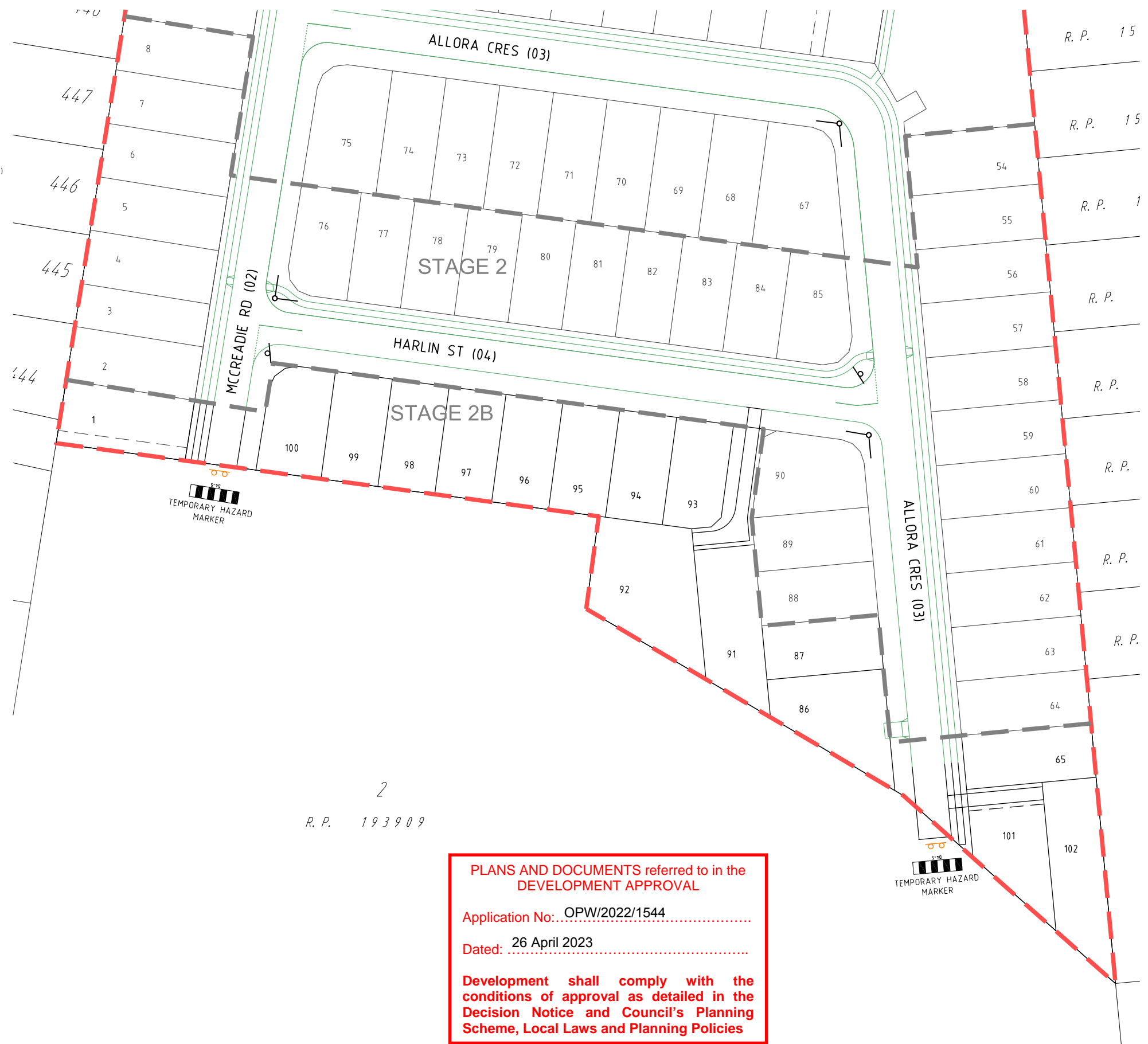
PAVEMENT MARKING LEGEND

- EXISTING EDGE LINE - EL
- EXISTING EDGE LINE YELLOW - EL(Y)
- EXISTING CONTINUITY LINE - CL
- EXISTING TURN LINE - TL
- EXISTING BARRIER LINE - BL(B)
- EXISTING BARRIER LINE - BL
- EXISTING LANE LINE - LL
- EXISTING LANE LINE - LL(B)
- EXISTING GIVE WAY LINE - GWL
- EXISTING STOP LINE - SL
- EDGE LINE - EL
- EDGE LINE YELLOW - EL(Y)
- CONTINUITY LINE - CL
- TURN LINE - TL
- BARRIER LINE - BL(B)
- BARRIER LINE - BL
- LANE LINE - LL
- LANE LINE - LL(B)
- GIVE WAY LINE - GWL
- STOP LINE - SL

NOTE: REFER TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR ALL LINEMARKING AND SIGN STANDARDS

LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- SITE BOUNDARY
- STAGE BOUNDARY
- EXISTING SIGN POST
- EXISTING SIGN POST
- EXISTING SIGN POST
- PROPOSED SIGN POST



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL
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PROJECT NAME
DALMA
 OPERATIONAL WORKS
 STAGE 2B
 RP DESCRIPTION Lot 4 RP883725 , LOT 4
 DALMA STREET ORMEAU HILLS
 LOCALITY OF ORMEAU
 LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD

Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS

DRAWING TITLE
LINEMARKING & SIGNAGE PLAN

MORTONS
 urbansolutions
 Urban & Regional Planning
 Civil Engineering
 Project Coordination

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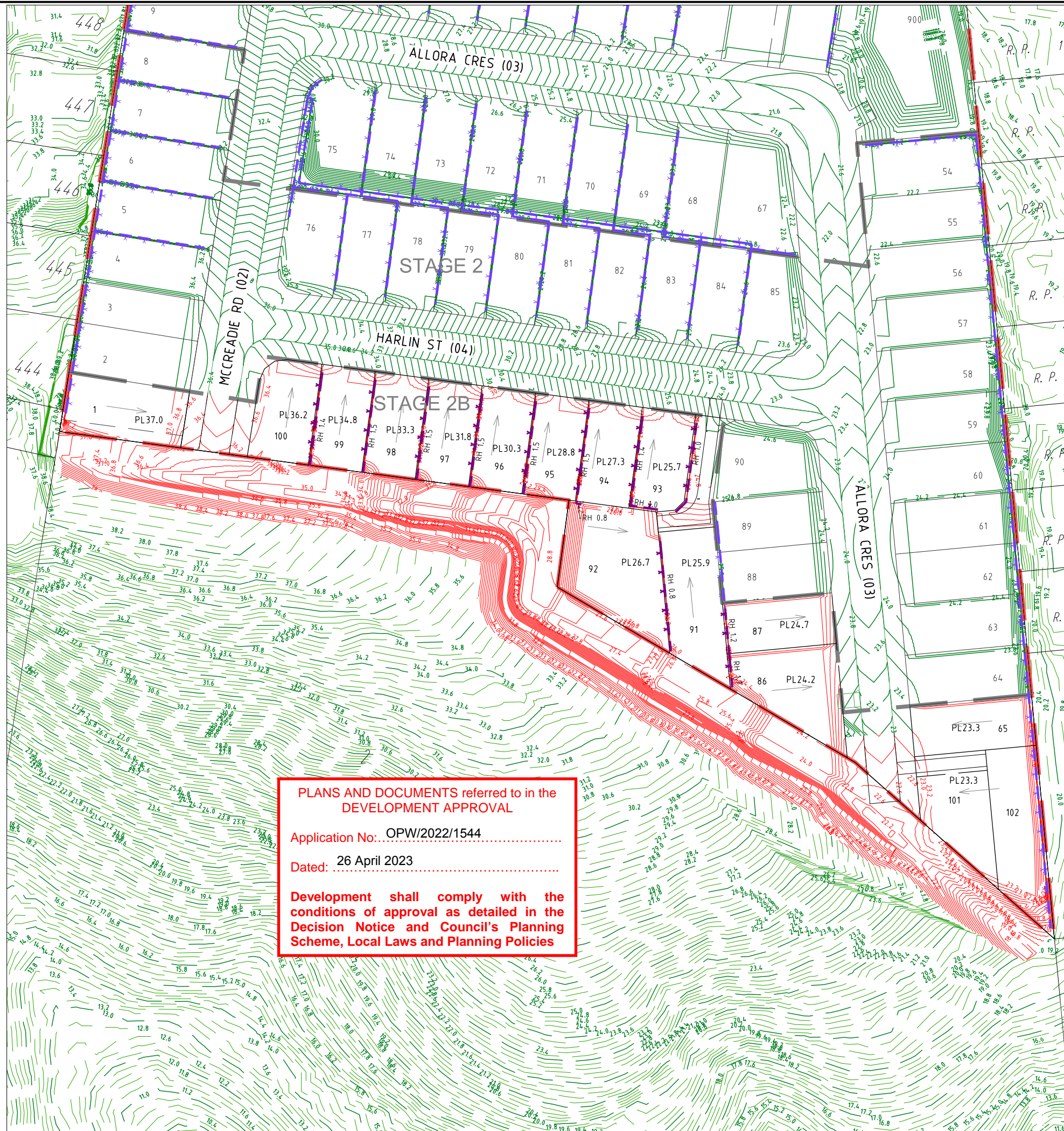
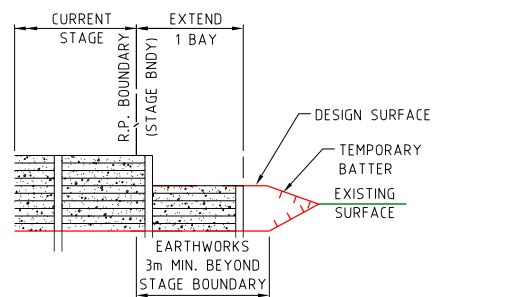
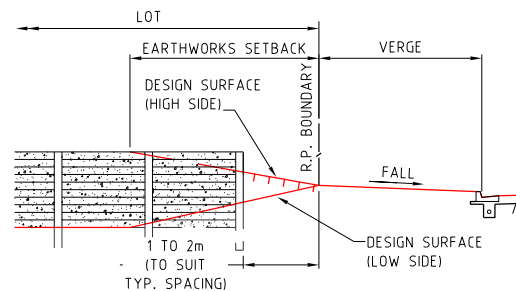
DESIGNED RB	DRAWN JB
APPROVED	REP 4706 DATE 24-11-22
DRAWING NUMBER	AMEND.
35701-02B-420	A

GENERAL

1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES AND TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY.
5. ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING RETAINING WALL
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE CONTOURS
- FUTURE RETAINING WALL
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- DESIGN CONTOURS
- PROPOSED SINGLE TIER RETAINING WALL
- PROPOSED TWO TIER RETAINING WALL
- NOMINAL LOT PAD LEVEL
- INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:500 MIN. REFER DRG. 461)



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PROJECT NAME

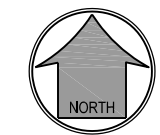
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

A	24-11-22	ISSUE FOR INFORMATION
PRE DATE		AMENDMENT

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DRAWING TITLE

**RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 01**



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Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED RB	RPE 4706 DATE 24-11-22
DRAWING NUMBER	AMEND.
35701-02B-450	A

NOTES:

1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN AND CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN AND FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10KPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
5. THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG, PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
6. STRUCTURAL ENGINEER TO DESIGN SLAB AND PIER.
7. AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
8. RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) AND HAVE NO IMPACT.
9. 200mm TO BACK OF DRAINING MATERIAL OR FOOTING FROM PROPERTY BOUNDARY.

RETAINING WALL COLOUR AND FACE FINISH NOTE:

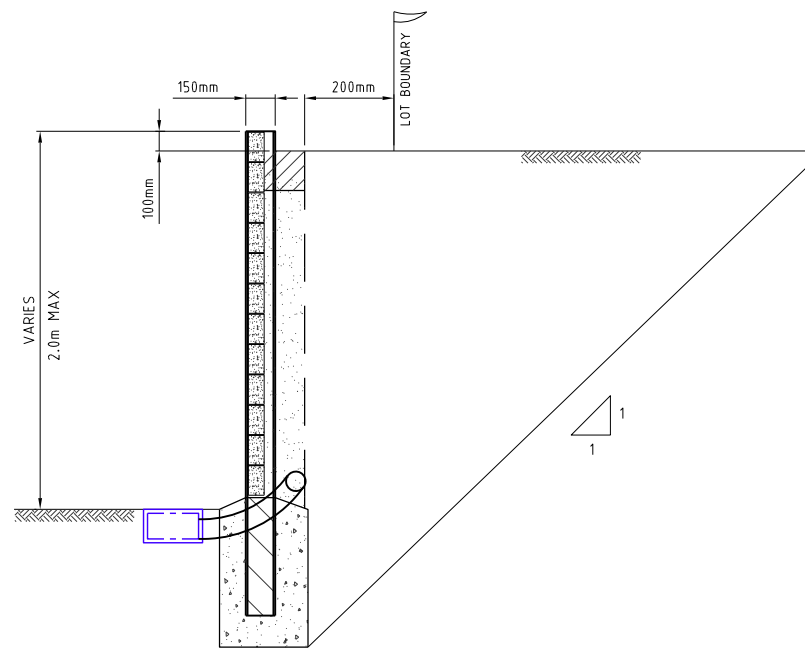
1. RETAINING WALL COLOUR AND FINISH IS TO BE AS PER LANDSCAPE CONSULTANTS SPECIFICATION

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

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CROSS SECTION OF CONCRETE RETAINING WALL

SCALE 1:20 - A1 (1:40 - A3)

PROJECT NAME

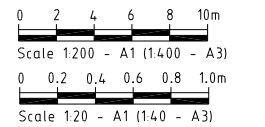
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A 16-09-19	COUNCIL ISSUE

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DRAWING TITLE

**RETAINING WALL
DETAILS**



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www.urbansolutions.net.au Gold Coast Office
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Fax 07 5571 1088 Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	RPEQ 4706 DATE 24-11-22

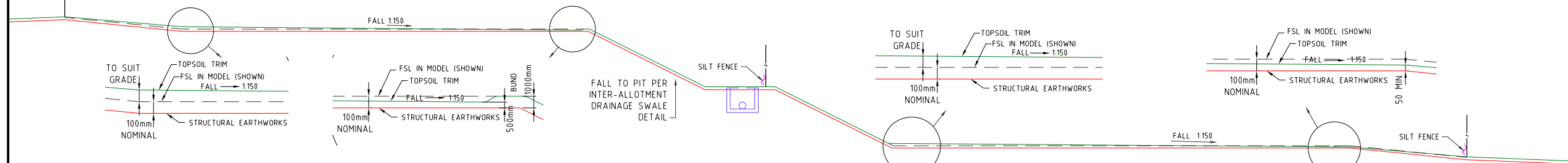
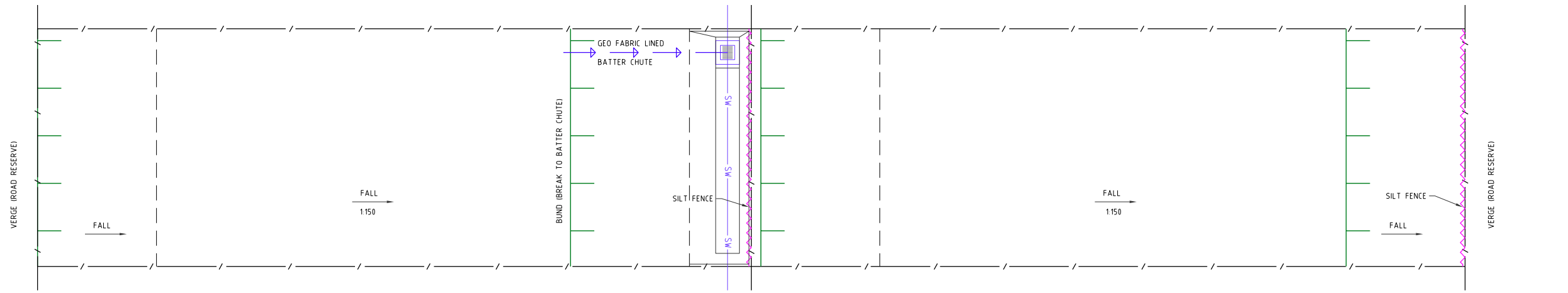
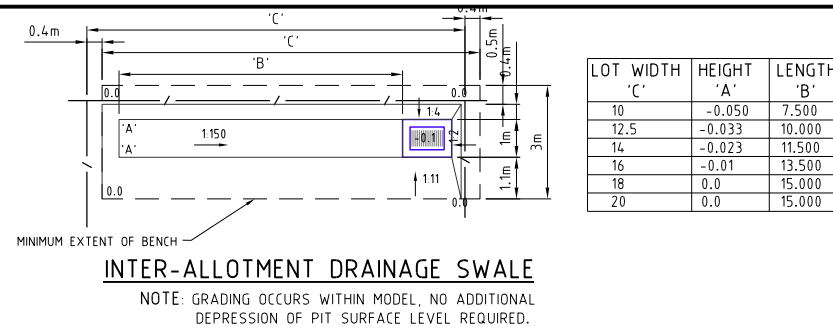
DRAWING NUMBER	AMEND.
35701-02B-460	A

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

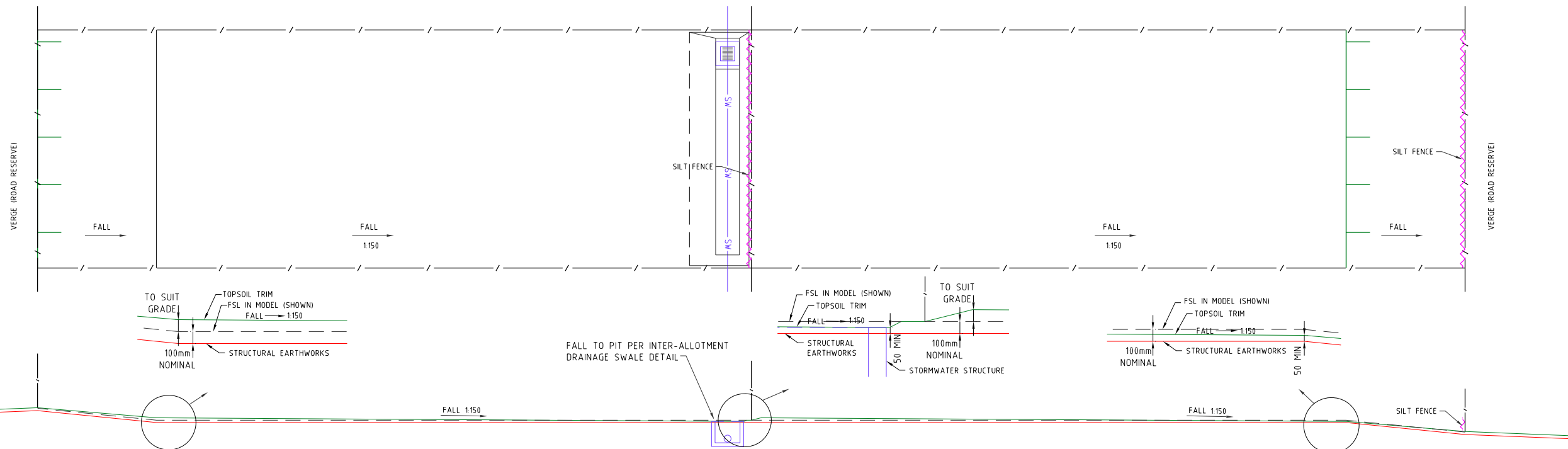
Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



TYPICAL TOPSOIL TRIM (BENCHED LOTS)
NOT TO SCALE



TYPICAL TOPSOIL TRIM (NON BENCHED LOTS)
NOT TO SCALE

PROJECT NAME

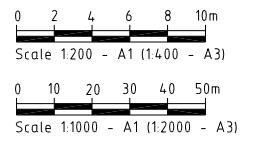
DALMA

OPERATIONAL WORKS
STAGE 2B

RP DESCRIPTION Lot 4 RP883725, Lot 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

ORMEAU
DEVELOPMENTS
PTY LTD



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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DRAWING TITLE

FINAL TRIM
DETAILS
SHEET 01



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DESIGNED RB	DRAWN JB
APPROVED [Signature]	RPEQ 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-461	A

SEQ CODE SEWER NOTES

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-SEW-1101-3.

VEGETATION PROTECTION

- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8 m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- A. TOPSOIL AND SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL AND MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

CREEK CROSSINGS

- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- C. NO SOIL SHALL BE STOCKPILED WITHIN 5 m OF THE CREEK.

REHABILITATION

- A. PREDISTURBANCE SOIL PROFILES AND COMPACTION LEVELS SHALL BE REINSTATE.
- B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

SAFETY

- A. THE DESIGN AND CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

GENERAL

- 1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND SEWERAGE CODE SPECIFICATIONS AND STANDARDS.
- 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- 3. THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO THE SEQ SERVICE PROVIDER SEWERAGE SYSTEM.
- 4. ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF SEQ'S AGENT AT THE DEVELOPER'S COST.
- 5. ALL PIPES AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS AND MATERIALS" LIST.
- 6. EACH ALLOTMENT SHALL BE SERVED BY A DN100 PVC PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 PE (OR DN150 PVC) PROPERTY CONNECTION SHALL BE PROVIDED.
- 7. PROPERTY CONNECTIONS SHALL BE LOCATED WITHIN THE PROPERTY AS SHOWN IN THE DRAWINGS.
- 8. PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300 mm AND A MAXIMUM OF 750 mm. UNITS WATER REQUIRES MINIMUM EXTENSION OF 500 mm INTO PROPERTY.
- 9. WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300 mm (LOOSE) IN DEPTH AND SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE SEQ SERVICE PROVIDER UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.
- 10. WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEQ SEWER CODE.
- 11. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- 12. SEWERS SHALL BE DISUSED /ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN THE SEQ SEWER CODE.
- 13. BENCH MARK AND LEVELS TO AHD.
- 14. THE EXISTING DWELLING ON LOT 2, REFER SEQ-SEW-1100, SERVED BY A SEPTIC SYSTEM, SHALL BE CONNECTED TO THE NEW SEWER BY A LICENCED PLUMBER IN ACCORDANCE WITH THE RELEVANT STATUTORY AND COUNCIL REQUIREMENTS. THE SEPTIC SYSTEM, INCLUDING TRENCHES, SHALL BE REMOVED AT THE DEVELOPER'S COST. ALL FIXTURES SHALL BE UPGRADED IF REQUIRED BY PLUMBING CODE. STANDARD NOTE NOT APPLICABLE AND THEREFORE DELETED.
- 15. EXISTING ALLOTMENTS REQUIRING A PROPERTY CONNECTION FROM EXISTING SEWERS SHALL BE PROVIDED BY THE SEQ SERVICE PROVIDER AT THE DEVELOPERS COST.

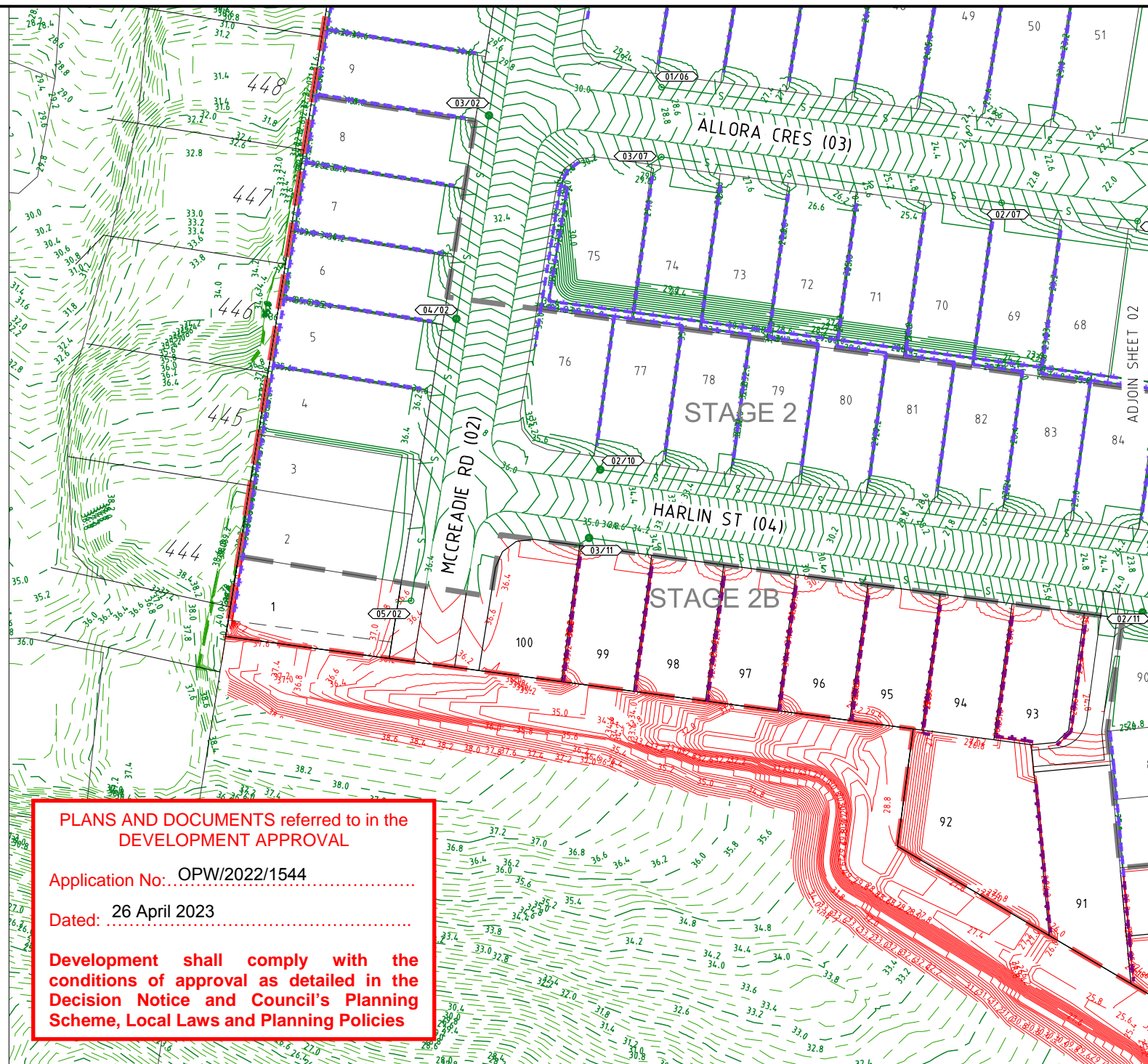
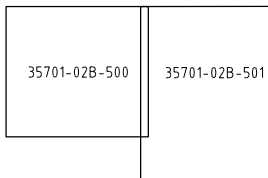
PROJECT SPECIFIC SEWER NOTES

- a. ALL SEWER MAINS TO BE AS PER SEWER PIPE SPECIFICATIONS TABLE.
- b. NOTWITHSTANDING THE STANDARD SEQ NOTES ABOVE, ALL MATERIALS AND WORKS MUST BE IN ACCORDANCE WITH THE SERVICE PROVIDER'S APPROVAL CONDITIONS AND THE SEQ WS&S D&C CODE.
- c. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR SEWER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- d. THE CONTRACTOR TO PROVIDE CALCREOUS CONCRETE WHERE SPECIFIED IN THE SEQ CODE BY THE RELEVANT AUTHORITY.
- e. WATER AND ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE PRECISE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE, SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENTS INSTRUCTION
- f. ALL BENDS TO BE LONG RADIUS BEND, 3m RADIUS U.N.O.
- g. CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF WORKS ON-SITE.
- h. PROPERTY CONNECTIONS HAVE BEEN DESIGNED TO CONTROL THE REQUIRED SERVICE AREA OF EACH LOT AT A GRADE OF 1:60 AND A MAXIMUM DEPTH OF PROPERTY CONNECTION AT 1.5m. UNLESS OTHERWISE STATED. REFER SEQ STD. DWGS SEQ-SEW-1106-01 TO SEQ-SEW-1106-7 FOR JUNCTION DETAILS.
- i. CONTRACTOR TO PAY ALL FEES AND CHARGES ASSOCIATED WITH CONNECTIONS

LEGEND

- S- EXISTING SEWER
- RM- EXISTING RISING MAIN
- K- EXISTING KERB (INVERT)
- P- EXISTING PROPERTY LINE
- R- EXISTING RETAINING WALL
- B- EXISTING BESSER BLOCK RETAINING WALL
- C- EXISTING CONTOURS
- S- FUTURE SEWER
- RM- FUTURE RISING MAIN
- K- FUTURE KERB (INVERT)
- P- FUTURE PROPERTY LINE
- R- FUTURE RETAINING WALL
- C- FUTURE CONTOURS
- S- SITE BOUNDARY
- RM- STAGE BOUNDARY
- K- PROPOSED KERB (INVERT)
- P- PROPOSED PROPERTY LINE
- R- PROPOSED RETAINING WALL
- C- 1:0 DESIGN CONTOURS
- S- PROPOSED SEWER
- RM- PROPOSED RISING MAIN
- SEWER MANHOLE
- SEWER RODDING END
- SEWER BEND
- SEWER MAINTENANCE SHAFT
- SEWER END CAP
- SEWER PUMP STATION
- SEWER PIT NO./LINE

SHEET LAYOUT



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.



LIVE SEWER WORKS SCHEDULE

No.	Description	Dia. Sewer	MH No.	MH/MS Type	Cover Type	Lot no	F.S.L	E.S.L	I.L	Depth to invert
1(A)	CIVIL CONTRACTOR TO MAKE APPLICATION TO GOLD COAST WATER FOR THE LIVE CONNECTION TO DOWNSTREAM SEWER MANHOLE AT EACH LOCATION (LINES 04)									
1(B)	STUB END CAP. CONTRACTOR TO LAY NEW LINES 04. AFTER CLEANSING, TESTING AND INSPECTING, NOTIFY GOLD COAST WATER.	150	15/04	A	B	101	23.790	23.933	20.657	2.967
1(C)	CONTRACTOR TO REMOVE PLUG FROM MANHOLE AND MAKE LIVE CONNECTION AFTER SUCCESSFUL "ON MAINTENANCE" INSPECTION.									

PROJECT NAME
DALMA
OPERATIONAL WORKS
STAGE 2B
RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD

NORTH
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A 24-11-22	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS
dts
BIOME WATER AND ENVIRONMENTAL CONSULTING

DRAWING TITLE
SEWER RETICULATION PLAN AND NOTES SHEET 01 OF 02

MORTONS urbansolutions
Urban & Regional Planning
Civil Engineering
Project Coordination
MUS Pty Ltd T/As: Mortons-Urban Solutions ABN 39 116 375 065
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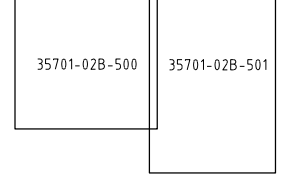
DESIGNED RB DRAWN JB
APPROVED [Signature] RPEQ 4706 DATE 24-11-22
DRAWING NUMBER 35701-02B-500 AMEND. A

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- LEGEND**
- S— EXISTING SEWER
 - RM— EXISTING RISING MAIN
 - EXISTING KERB (INVERT)
 - EXISTING PROPERTY LINE
 - EXISTING RETAINING WALL
 - EXISTING BESSER BLOCK RETAINING WALL
 - 1.0— EXISTING CONTOURS
 - S— FUTURE SEWER
 - RM— FUTURE RISING MAIN
 - EXISTING KERB (INVERT)
 - EXISTING PROPERTY LINE
 - EXISTING RETAINING WALL
 - 1.0— EXISTING CONTOURS
 - SITE BOUNDARY
 - STAGE BOUNDARY
 - PROPOSED KERB (INVERT)
 - PROPOSED PROPERTY LINE
 - PROPOSED RETAINING WALL
 - 1.0— DESIGN CONTOURS
 - S— PROPOSED SEWER
 - RM— PROPOSED RISING MAIN
 - SEWER MANHOLE
 - SEWER RODDING END
 - SEWER BEND
 - SEWER MAINTENANCE SHAFT
 - SEWER END CAP
 - SEWER PUMP STATION
 - ◀ 01-10 ▶ SEWER PIT NO/LINE

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

SHEET LAYOUT

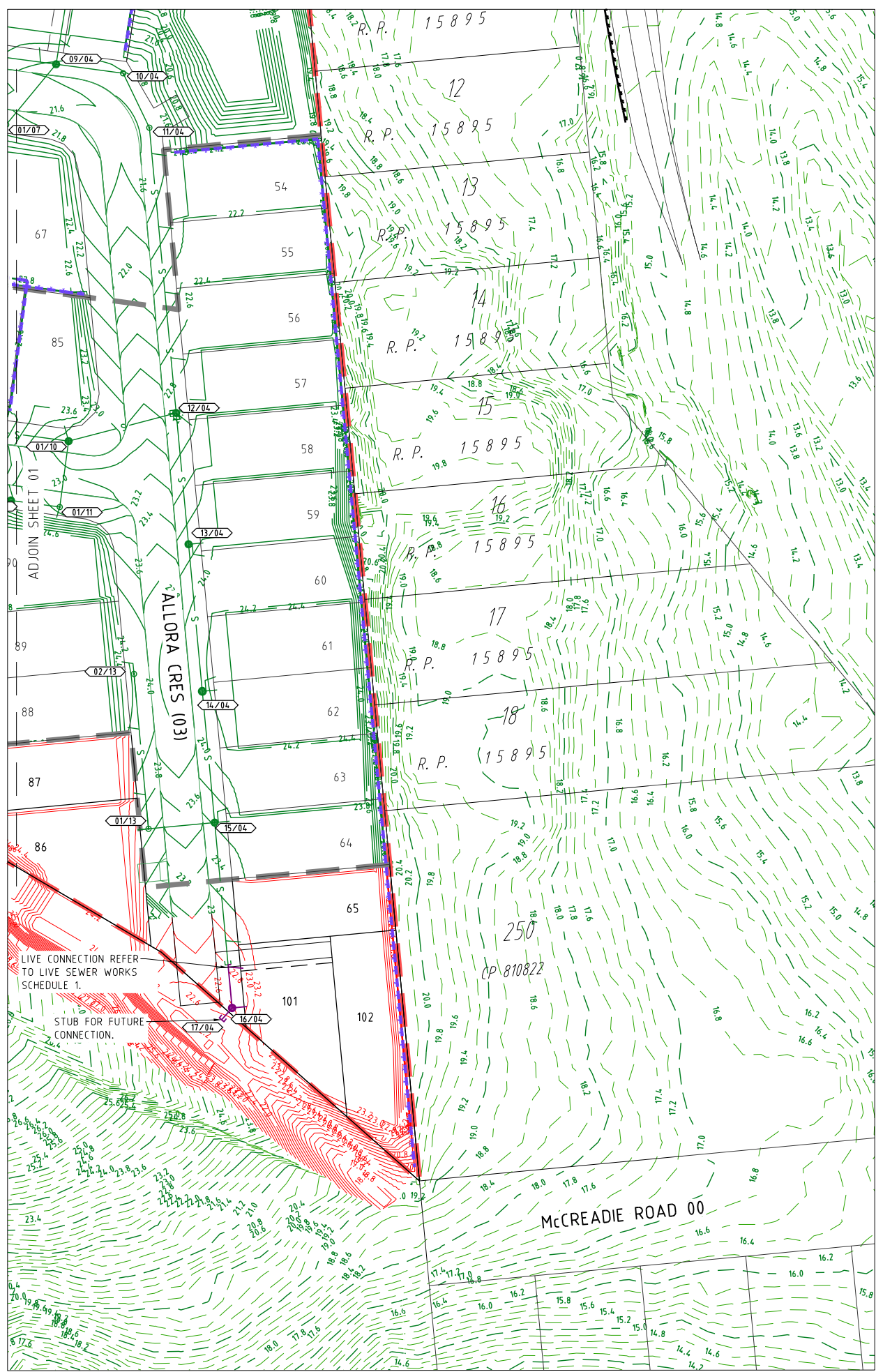


PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

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PROJECT NAME
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
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PRE DATE	AMENDMENT
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DRAWING TITLE

**SEWER RETICULATION
PLAN AND NOTES
SHEET 02 OF 02**



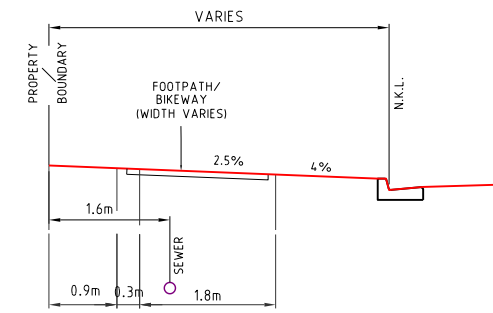
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DESIGNED RB	DRAWN JB
APPROVED RB	DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-501	A

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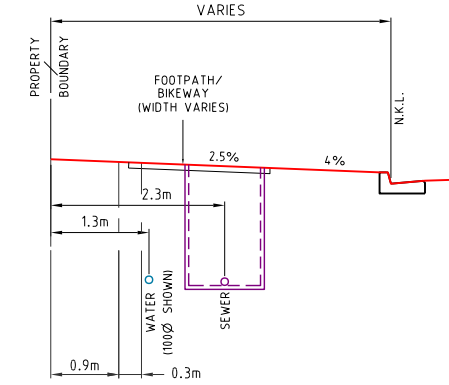


U/G POWER GAS SEWERAGE
TELECOMMUNICATIONS AND WATER AND CABLE T.V.

**G.C.C.C. TYPICAL SERVICES
SEWER RETICULATION ONLY**

SCALE 1:50 - A1 (1:100 - A3)

1. PUBLIC UTILITIES ALLOCATIONS ARE MEASURED FROM THE REAL PROPERTY BOUNDARY.
2. LIGHT POLE, TREE ALLOCATIONS AND FOOTPATHS ARE MEASURED FROM THE NOMINAL KERB LINE.



U/G POWER GAS
TELECOMMUNICATIONS
AND CABLE T.V.

**G.C.C.C. TYPICAL POTABLE WATER AND
SEWER RETICULATION (SAME SIDE)**

SCALE 1:50

**PLANS AND DOCUMENTS referred to in the
DEVELOPMENT APPROVAL**

Application No: OPW/2022/1544

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PROJECT NAME

DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 0.5 1.0 1.5 2.0 2.5m
Scale 1:50 - A1 (1:100 - A3)

ISSUES	DATE
TENDER	xx-xx-xx
COUNCIL	24-11-22
CONSTRUCTION	..

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DRAWING TITLE

**SEWER RETICULATION
DETAILS**



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mortons@urbansolutions.net.au
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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	REQ 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-510	A

RIGSS SEWER STRUCTURE TYPES	
P(x)	PRECAST CONCRETE SEWER MAINTENANCE STRUCTURE REFER TO SEQ STD DWG SEQ-SEW-1300-1
A	TYPE 'A' 1050mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
B	TYPE 'B' 1200mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
C	TYPE 'C' 1500mm DIA. MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1307-1
J1	TYPE 'J1' MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-2 (300mm DIA SHAFT)
BND	BEND REFER TO SEQ STD DWGS SEQ-SEW-1314-3
RE	RODDING END MAINTENANCE STRUCTURE REFER TO SEQ STD DWGS SEQ-SEW-1314-1
END	PROPRIETARY END CAP
PS	SEWER PUMP STATION REFER TO RELEVANT SEQ STD DWGS
RCM	RECEIVING MAINTENANCE STRUCTURE REFER TO RELEVANT SEQ STD SEWER PUMP STATION DWGS
G6	TYPE 'G6' TERMINAL MAINTENANCE SHAFT REFER TO SEQ STD DWGS SEQ-SEW-1314-1

RIGSS SEWER STRUCTURE DROPS	
V	STRAIGHT THROUGH SEWER REFER TO SEQ STD DWG SEQ-SEW-1303-1
W	OBLIQUE BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	INTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1
Y	EXTERNAL BACKDROP REFER TO SEQ STD DWG SEQ-SEW-1303-1

**STRUCTURE TYPE
LID CLASS
DROP TYPE**

* CONSTRUCT BRIDGING STRUCTURE SPANNING THE SEWER TRENCH REFER TYPICAL SECTIONS & DETAILS FOR BRIDGING STRUCTURE DETAILS

TRENCHSTOPS, BULKHEADS & CONCRETE ENCASUREMENTS TO BE INSTALLED IN ACCORDANCE WITH SEQ SEWER CODE **NOTES**

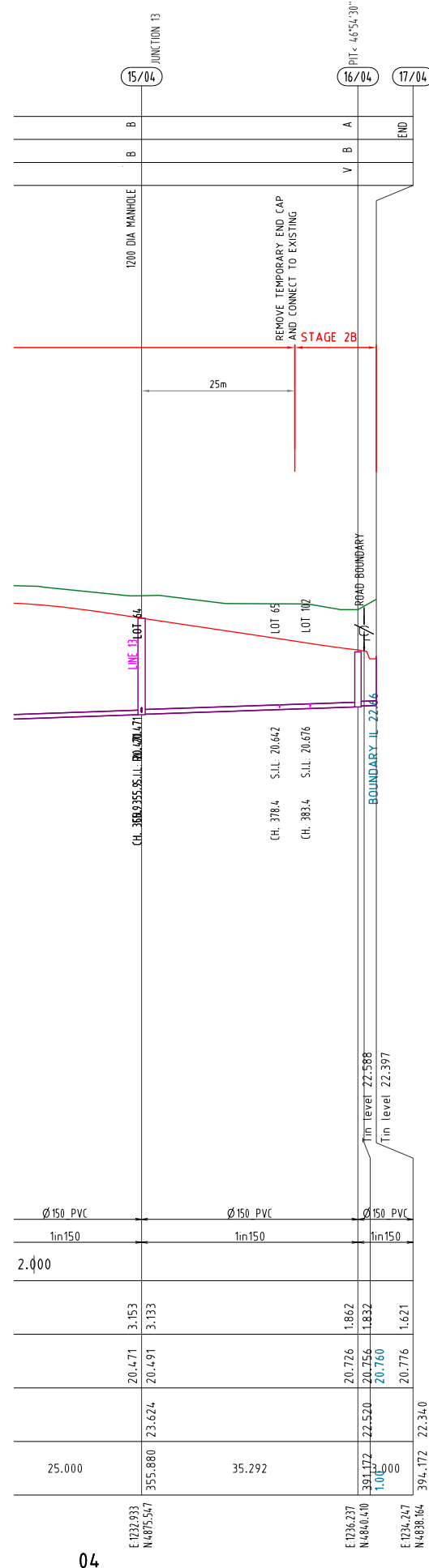
- IF SHOWN, WATER AND ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE, SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENTS INSTRUCTION
- ALL GRAVITY uPVC SEWER PIPE TO BE CLASS SN8 U.N.O.
- ALL PRESSURE MAIN uPVC SEWER PIPE TO BE CLASS SN16 U.N.O.
- ALL EMBEDMENT TYPE IS TO BE TYPE 3 U.N.O
- ALL BENDS TO BE LONG RADIUS BEND, 3m RADIUS
- CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF PIPEWORK
- PROTECTIV COATING IS TO BE INSTALLED TO MAINTENANCE STRUCTURES (WHERE REQUIRED) IN ACCORDANCE WITH CLAUSE 4.7.2 OF SEQ SEWERAGE CODE.

PIPE DIAMETER (mm)
PIPE GRADE

DATUM R.L.

DEPTH TO INVERT
PIPE INVERT LEVELS
DESIGN SURFACE LEVELS
CHAINAGE

LINE NO.



PLANS AND DOCUMENTS referred to in the **DEVELOPMENT APPROVAL**

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Dated: **26 April 2023**

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PROJECT NAME

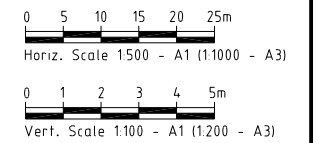
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
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DEVELOPMENTS
PTY LTD**



ISSUES	DATE
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COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

**SEWER RETICULATION
PROFILES**



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mortons@urbansolutions.net.au
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Fax 07 5571 1088 Southport QLD 4215

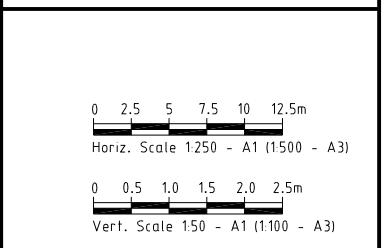
DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	REQ 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-530	A

RIGSS SEWER STRUCTURE DROPS	
A	SEWER PROPERTY CONNECTION (STANDARD & EXTENDED) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
B	SEWER PROPERTY CONNECTION (SLOPED CONNECTION) REFER TO SEQ STD DWGS SEQ-SEW-1104-1
D	SEWER PROPERTY CONNECTION (VERTICAL RISER) REFER TO SEQ STD DWG SEQ-SEW-1105-1
V	SEWER PROPERTY CONNECTION (STRAIGHT THROUGH SEWER) REFER TO SEQ STD DWG SEQ-SEW-1303-1
X	SEWER PROPERTY CONNECTION (INTERNAL BACKDROP) REFER TO SEQ STD DWG SEQ-SEW-1303-1
Z	RISER CONNECTION TO PORTION OF MAINTENANCE SHAFT

PROJECT NAME
DALMA
 OPERATIONAL WORKS
 STAGE 2B
 RP DESCRIPTION Lot 4 RP883725 , LOT 4
 DALMA STREET ORMEAU HILLS
 LOCALITY OF ORMEAU
 LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT
ORMEAU DEVELOPMENTS PTY LTD



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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DRAWING TITLE
SEWER RETICULATION HOUSE CONNECTION PROFILES

MORTONS
 urban solutions
 Urban & Regional Planning
 Civil Engineering
 Project Coordination

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 Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	PER 4706 DATE 24-11-22
DRAWING NUMBER 35701-02B-550	AMEND. A

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

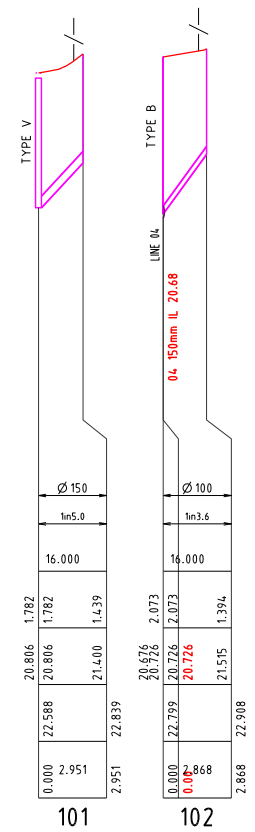
Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

NOTES

1. WATER AND ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE PRECISE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE. SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDANTS INSTRUCTION.

2. ALL HOUSE CONNECTIONS TO BE 100Ø CLASS SNG UNLESS NOTED OTHERWISE

PIPE DIAMETER (mm)	Ø 150
PIPE GRADE	1m5.0
DATUM R.L.	16.000
DEPTH TO INVERT	
PIPE INVERT LEVELS	
DESIGN SURFACE LEVELS	
CHAINAGE	
LOT NO.	101



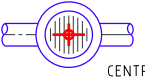
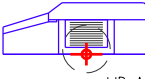

STORMWATER

- ALL FIELD GULLIES SHALL CONTAIN A 150mm DIA STUB 600mm BELOW GRADE LEVEL FOR FUTURE ROOFWATER DRAINAGE.
- MANHOLES TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-010, DS-015, DS-018, DS-019, DS-020, DS-021 OR STRUCTURAL DRAWINGS (STRUCTURAL DRAWINGS TAKE PRECEDENCE).
- OUTLET HEADWALLS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS.
- ALL HEADWALLS WITH A FALL GREATER THAN 900mm HIGH REQUIRE INSTALLATION OF PEDESTRIAN SAFETY FENCES.
- ALL PIPES 600mm DIA OR LESS TO BE SOCKETED CONCRETE PIPES WITH RUBBER RING JOINTS. PIPED GREATER THAN 600mm DIA SHALL BE BUTT OR FLUSH JOINTED.
- ALL ALLOTMENTS TO BE GRADED SUCH THAT FUTURE ROOFWATER DRAINAGE DISCHARGES TO KERB OR TO PIPED DRAINAGE SYSTEM.
- ALL PIPE 300mm DIA AND GREATER SHALL BE CONSTRUCTED USING SRC OR FRC PIPES. CONTRACTOR MAY ELECT TO USE PVC PIPES WITHIN ALLOTMENTS FOR PIPES SMALLER THAN 300mm DIA.
- FOR SETOUT DETAILS REFER TO 640 SERIES DRAWINGS (PROFILES AND PIT DETAILS).
- GULLY PITS TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-060, DS-061, DS-062, DS-063. WHERE PITS ARE CONSTRUCTED AS DRAINWAY PITS, TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWINGS No DS-068.
- LOTS WHICH CAN DRAIN OVERLAND FLOW TO THE STREET SWALE / DRAINAGE WITHOUT FLOWING THROUGH ADJOINING PROPERTIES NEED TO PROVIDE FOR Q100 OVERLAND FLOW TO THE ROAD
- LOT EARTHWORKS DURING BUILDING CONSTRUCTION MUST NOT CHANGE FLOW PATH DIRECTION UNLESS IT IS REPLACED WITH ANOTHER FLOW PATH DRAINING TO THE ROAD SWALE / DRAINAGE.
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR STORMWATER RATE.
- PIPE CLASS - PIPE CLASSES/TRENCH BEDDING SHOWN ON THE DRAWINGS ARE SUBJECT TO THE CONTRACTORS PREFERRED INSTALLATION METHOD. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE APPROPRIATE PIPE CLASSES AND BEDDING.
- KERB ADAPTORS ARE TO BE INSTALLED TO AUTHORITIES REQUIREMENTS.

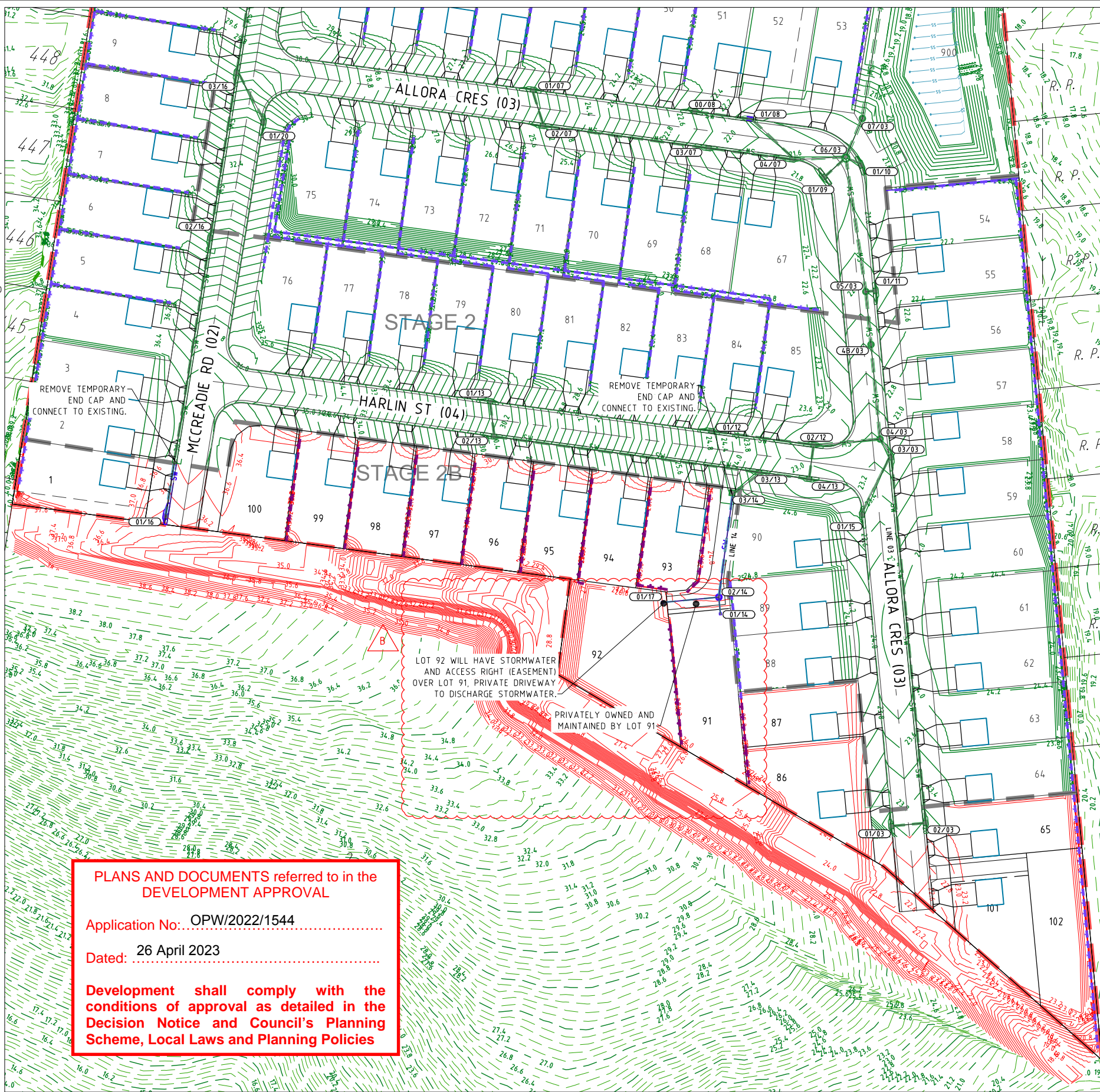
LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING PROPERTY LINE
- EXISTING RETAINING WALL
- EXISTING BESSER BLOCK RETAINING WALL
- SW — SW — EXISTING STORMWATER
- RW — RW — EXISTING ROOFWATER
- SS — SS — EXISTING SUBSOIL
- 1.0 — EXISTING CONTOURS
- — FUTURE KERB
- — FUTURE PROPERTY LINE
- — FUTURE RETAINING WALL
- SW — FUTURE STORMWATER
- RW — FUTURE ROOFWATER
- SS — FUTURE SUBSOIL
- — SITE BOUNDARY
- — STAGE BOUNDARY
- — CONTROL LINE / CENTER OF ROAD
- — PROPOSED KERB (INVERT)
- — PROPOSED KERB (LIP & BACK)
- — PROPOSED PROPERTY LINE
- — PROPOSED RETAINING WALL
- 1.0 — DESIGN CONTOURS
- SW — PROPOSED STORMWATER
- RW — PROPOSED ROOFWATER
- SS — PROPOSED SUBSOIL
- MANHOLE
- KERB INLET (ON GRADE) PIT
- KERB INLET (SAG) PIT
- HEADWALL
- SCOUR PROTECTION
- (10/001) DRAINAGE PIT & LINE NO.

REFERENCE POINT LOCATION FOR DRAINAGE STRUCTURES

STRUCTURE TYPE	HORIZONTAL CONTROL (Reference Point Location)	VERTICAL CONTROL (Reference Level)
MANHOLE	 CENTRE OF MANHOLE	FINISHED SURFACE LEVEL
GULLY PIT	 LIP AT CENTRE OF PIT	FINISHED SURFACE LEVEL (LIP OF CHANNEL)
HEADWALL	 INTERSECTION OF HEADWALL FACE & PIPE CENTRELINE	INVERT LEVEL

REFER TO DWG SERIES 640 FOR ALL DRAINAGE STRUCTURE SETOUT AND/OR CUSTOM DETAILS.



PROJECT NAME

DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION: Lot 4 RP883725 , Lot 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

B	16-03-23	NOTES ADDED
A	24-11-22	COUNCIL ISSUE

PRE DATE	AMENDMENT

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ASSOCIATED CONSULTANTS



DRAWING TITLE

**STORMWATER
DRAINAGE
PLAN**

MORTONS
urbansolutions
Urban & Regional Planning
Civil Engineering
Project Coordination

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DESIGNED RB	DRAWN JB
APPROVED RB	RP EQ 4706 DATE 24-11-22

DRAWING NUMBER	AMEND.
35701-02B-600	B

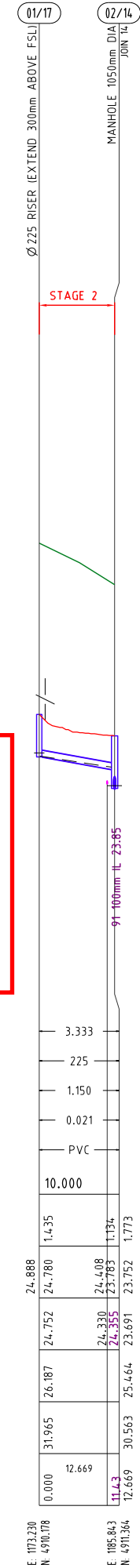
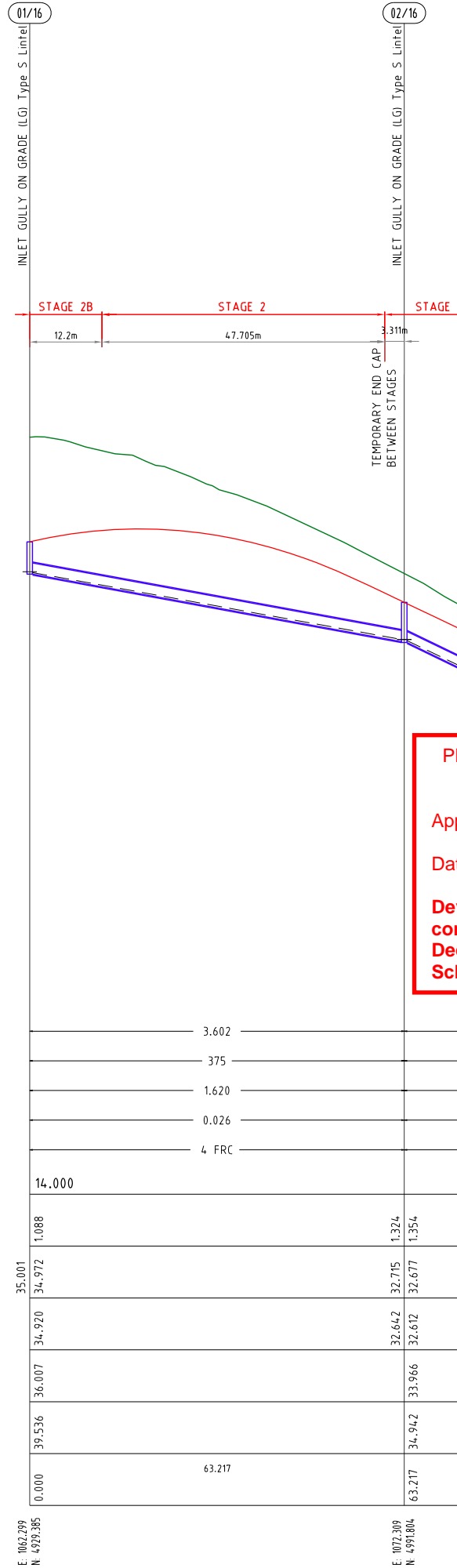
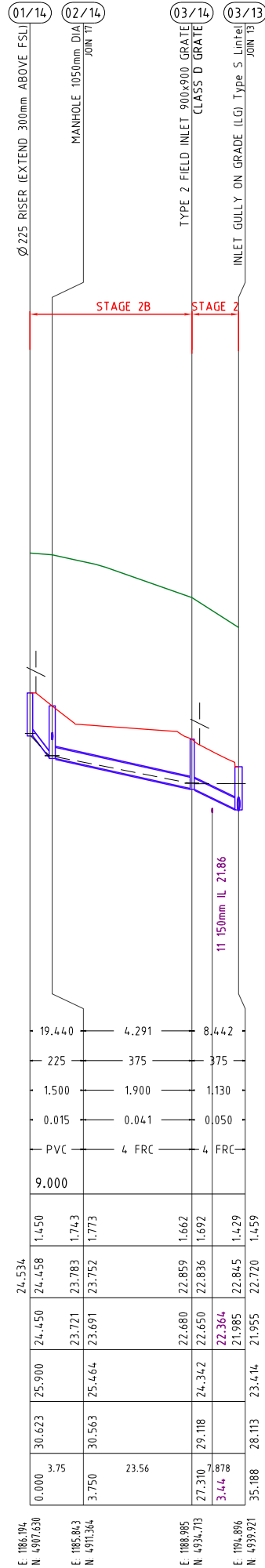
STRUCTURE NAME

STRUCTURE DESCRIPTION

PIPE GRADE (%)
PIPE DIAMETER (mm)
VELOCITY (m/s)
PIPE FLOW (m³/s)
PIPE CLASS
DATUM R.L.

DEPTH TO INVERT
HYDRAULIC GRADE LINE
PIPE INVERT LEVELS
DESIGN SURFACE LEVELS
EXISTING SURFACE LEVELS
CHAINAGE

DRAINAGE LINE



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

PROJECT NAME

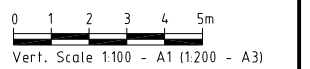
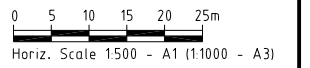
DALMA

OPERATIONAL WORKS STAGE 2B

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

ORMEAU DEVELOPMENTS PTY LTD



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CONSTRUCTION	..

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DRAWING TITLE

STORMWATER PROFILES



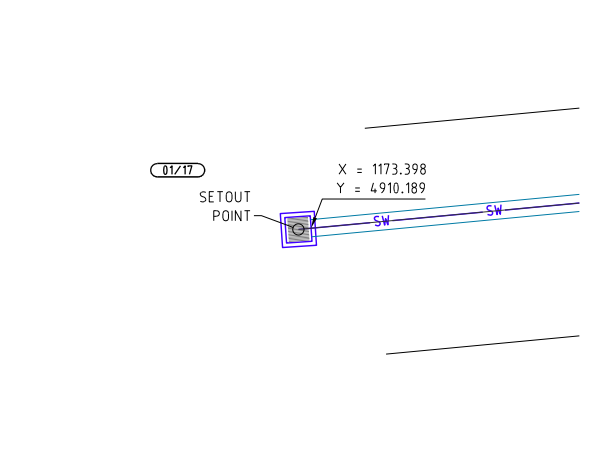
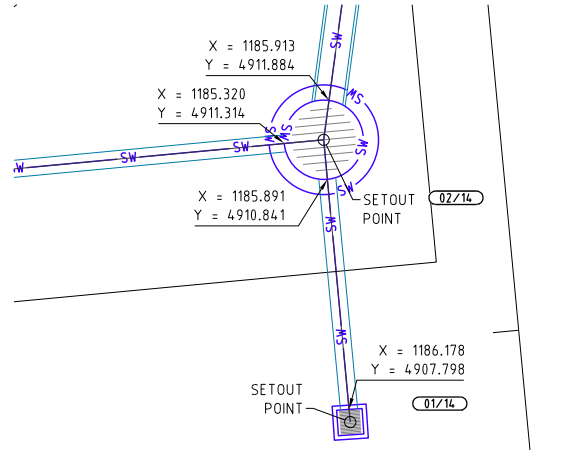
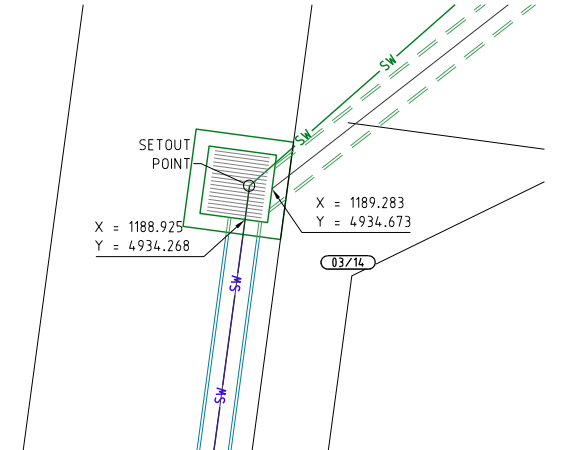
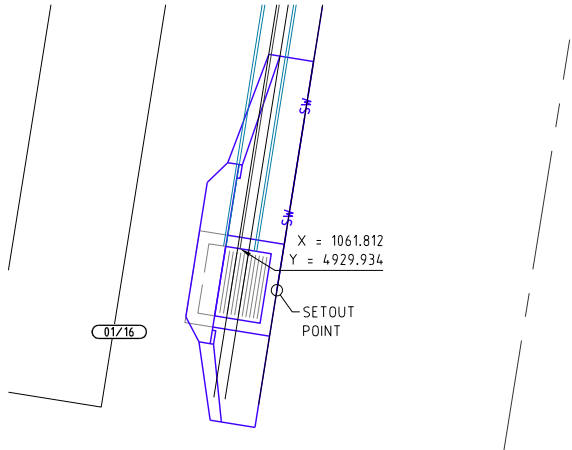
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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	PREP 4706 DATE 24-11-22

DRAWING NUMBER
3570-02B-620

AMEND.
A



PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

PROJECT NAME

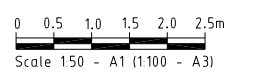
DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

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DRAWING TITLE

**STORMWATER
TYPICAL DETAILS
AND PIT DETAILS**



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DESIGNED RB	DRAWN JB
APPROVED [Signature]	DATE 27-05-21

DRAWING NUMBER
35701-02B-640

AMEND.
A

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- SW — — EXISTING STORMWATER
- RW — — EXISTING ROOFWATER
- ≡≡≡≡≡≡ EXISTING STORMWATER PIPES
- ≡≡≡≡≡≡ EXISTING ROOFWATER PIPES
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE
- SW — — PROPOSED STORMWATER
- RW — — PROPOSED ROOFWATER
- ≡≡≡≡≡≡ PROPOSED STORMWATER PIPES
- ≡≡≡≡≡≡ PROPOSED ROOFWATER PIPES
- MANHOLE
- FIELD INLET
- ▭ KERB INLET (ON GRADE) PIT
- ▭ KERB INLET (SAG) PIT
- ▽ HEADWALL
- (10/001) DRAINAGE PIT & LINE NO.
- CONCRETE

NOTE
THE STORMWATER PIT IMAGE ARE DIAGRAMATIC ONLY & THE CONTRACTOR MUST ENSURE THEY MATCH NEATLY INTO THE WORKS

SEQ CODE WATER NOTES

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-WAT-1101-3.

VEGETATION PROTECTION

- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8m BATTENS CLOSELY SPACED AND ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION AND REMAIN UNTIL COMPLETION.
- C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- A. TOPSOIL AND SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL AND MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

CREEK CROSSINGS

- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- C. NO SOIL SHALL BE STOCKPILED WITHIN 5m OF THE CREEK.

REHABILITATION

- A. PREDISTURBANCE SOIL PROFILES AND COMPACTION LEVELS SHALL BE REINSTATED.
- B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

GENERAL NOTES

- 1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND WATER SUPPLY CODE SPECIFICATIONS AND STANDARDS.
- 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- 3. ADOPT LIP OF KERB OR SHOULDER OF ROAD AS PERMANENT LEVEL.
- 4. COVER ON MAINS FROM PERMANENT LEVEL TO BE AS SHOWN IN SEQ-WAT-1200-2.
- 5. CONDUITS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS.
- 6. A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
- 7. ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP'S ACCEPTED PRODUCTS AND MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED AND DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED AND IF APPROPRIATE, APPROVED BY THE SEQ-SP.
- 8. ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
- 9. TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING NO. SEQ-WAT-1410-1.
- 10. THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT TO THE RETICULATION SYSTEM.

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

PROJECT SPECIFIC WATER NOTES

- a. ALL PROPERTY CONNECTION ROAD CROSSINGS TO BE SLEEVED WITH DN100 mPVC CONDUIT.
- b. ALL MATERIALS ARE TO BE SUPPLIED AND CONSTRUCTED IN ACCORDANCE WITH SEQ CODE.
- c. WATER METERS ARE TO BE SUPPLIED AND INSTALLED AT ALL WATER SERVICE / CONNECTION POINTS IN ACCORDANCE WITH SEQ-WAT-1106 TO SEQ-WAT-1110-2.
- d. THRUST BLOCKS TO BE LOCATED AND INSTALLED BY CONTRACTOR IN ACCORDANCE WITH SEQ CODE.
- e. TRENCH STOPS AND BULKHEADS TO BE IN ACCORDANCE WITH WATER AUTHORITY REQUIREMENTS.
- f. THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR WATER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
- g. FOOTPATHS SHOWN FOR INFORMATION PURPOSES ONLY.
- h. ALL WATER CONSTRUCTION WORK UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH AND SAFETY LEGISLATION.
- i. MINIMUM WATERMAIN COVER TO BE IN ACCORDANCE WITH SECTION 7.4.2 TABLE 7.2 OF THE SEQ AMENDMENT TO WATER SUPPLY CODE OF AUSTRALIA.
- j. CONTRACTOR TO PAY ALL FEES AND CHARGES ASSOCIATED WITH CONNECTIONS.
- k. END OF LINE ARRANGEMENTS (EG. CUL-DE-SAC HEADS) TO BE CONSTRUCTED IN ACCORDANCE WITH SEQ-WAT-1104-1.
- l. TEMPORARY CONSTRUCTION HYDRANTS TO BE PROVIDED IN ACCORDANCE WITH SEQ-WAT-1303-1 AT ALL CONNECTIONS.
- m. ALL LIVE CONNECTIONS ARE TO BE ORGANISED BY THE CIVIL CONTRACTOR AND UNDERTAKEN BY COUNCIL AT THE DEVELOPERS EXPENSE.

WATER PIPE SPECIFICATIONS

WATER MAIN LOCATION	PIPE MATERIAL SPECIFICATION
FOOTPATH VERGE	PVC-M SERIES 2 PN16
ROAD CROSSING	DICL PN35

LEGEND

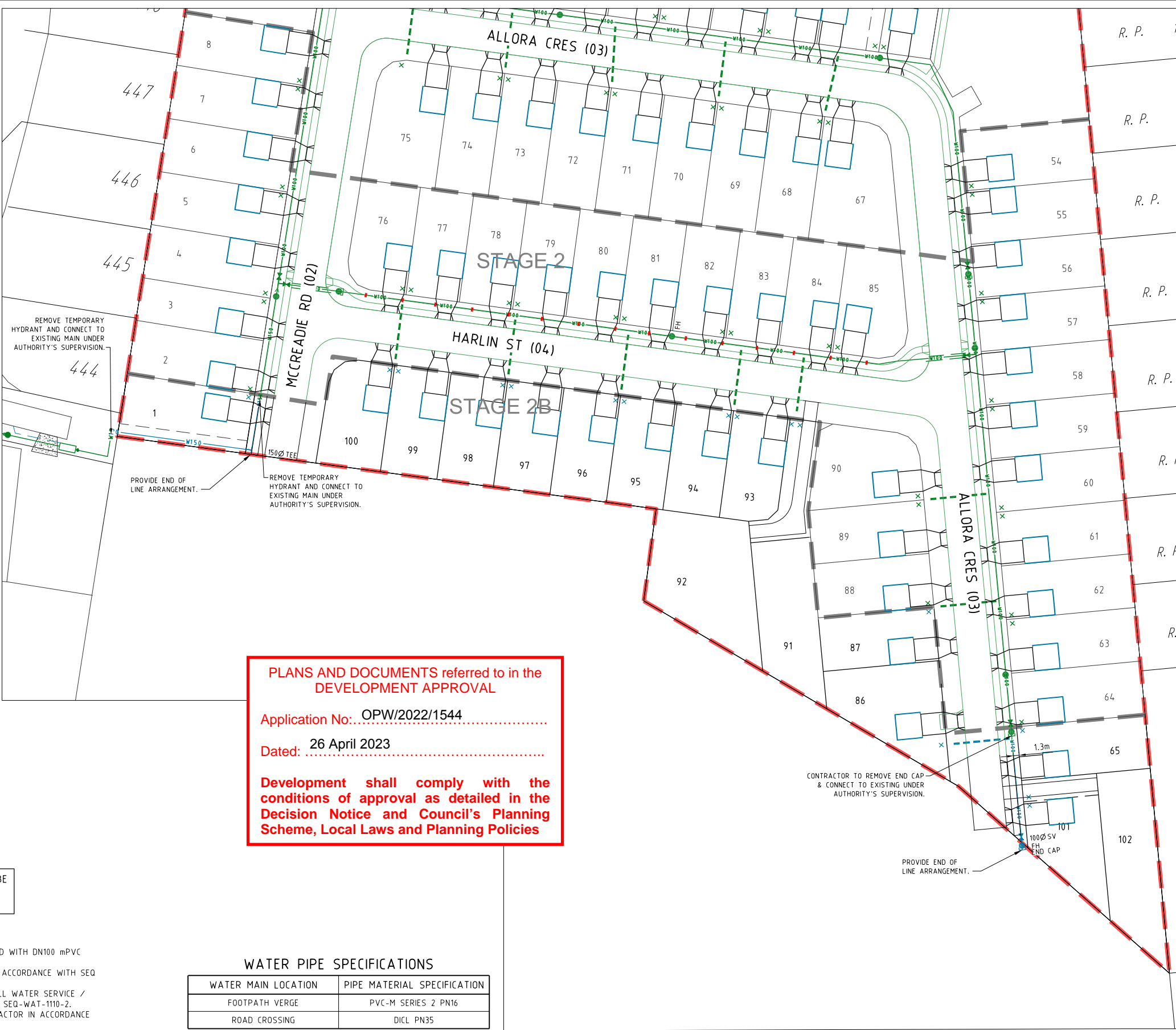
- SITE BOUNDARY
- STAGE BOUNDARY
- EXISTING 100Ø WATER MAIN
- EXISTING 150Ø WATER MAIN
- EXISTING 200Ø WATER MAIN
- EXISTING 225Ø WATER MAIN
- EXISTING 250Ø WATER MAIN
- EXISTING 300Ø WATER MAIN
- EXISTING PROPERTY LINE
- FUTURE 100Ø WATER MAIN
- FUTURE 150Ø WATER MAIN
- FUTURE 200Ø WATER MAIN
- FUTURE 225Ø WATER MAIN
- FUTURE 250Ø WATER MAIN
- FUTURE 300Ø WATER MAIN
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- TRENCHSTOPS
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED 100Ø WATER MAIN
- PROPOSED 150Ø WATER MAIN
- PROPOSED 200Ø WATER MAIN
- PROPOSED 225Ø WATER MAIN
- PROPOSED 250Ø WATER MAIN
- PROPOSED 300Ø WATER MAIN
- HYDRANT
- + TEE
- > REDUCER
- ⊥ SLUICE VALVE
- ⊥ ENDCAP
- ⊥ SCOUR VALVE
- AIR VALVE
- × METER LOCATION
- SERVICE CONDUIT
- DICL ROAD CROSSING

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies



PROJECT NAME

DALMA

**OPERATIONAL WORKS
STAGE 2B**

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 1 2 3 4 5m
Scale 1:100 - A1 (1:200 - A3)
0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
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ASSOCIATED CONSULTANTS



DRAWING TITLE

**WATER
RETICULATION
PLAN**



MUS Pty Ltd T/As:
Mortons-Urban Solutions
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DESIGNED RB	DRAWN JB
APPROVED RB	RPEQ 4706 DATE 27-05-21
DRAWING NUMBER	AMEND.
35701-02B-700	A



ISSUES	DATE
TENDER	XX-XX-XX
COUNCIL	24-11-22
CONSTRUCTION	..

PRE DATE	AMENDMENT
A	24-11-22 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS



DRAWING TITLE

WATER
RETICULATION
DETAIL



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DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	DATE 27-05-21

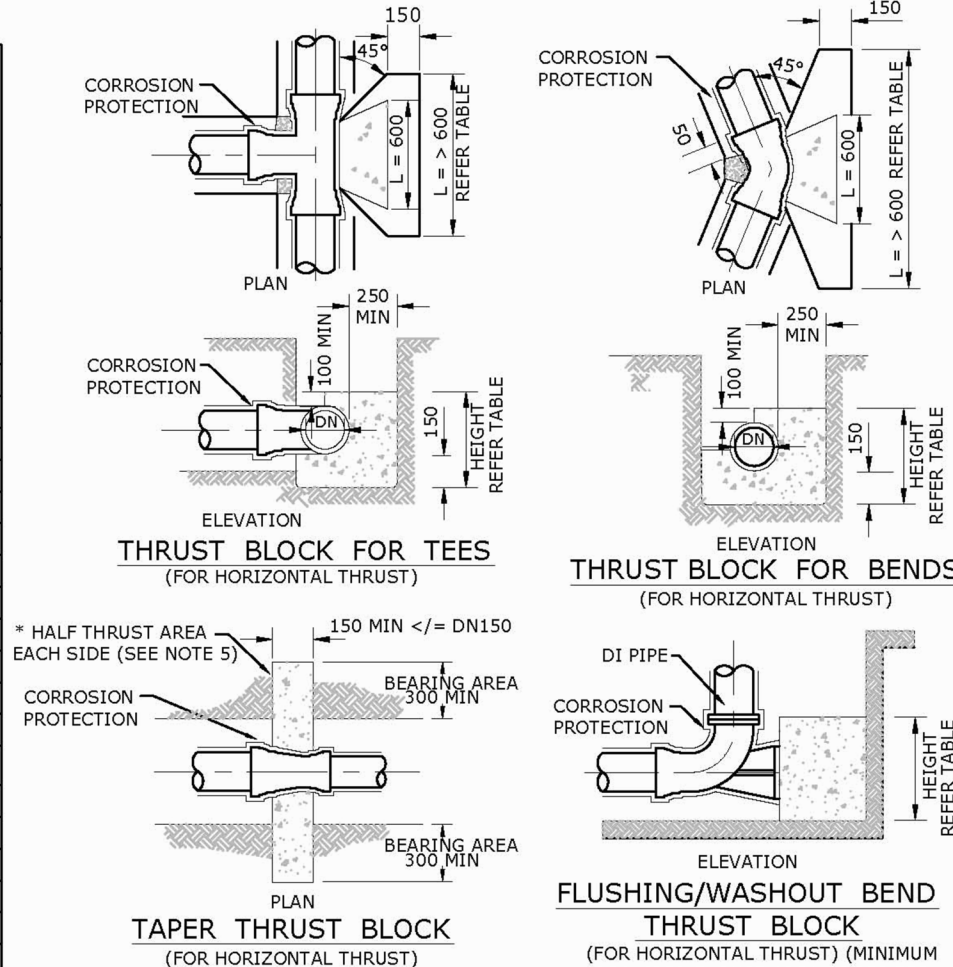
DRAWING NUMBER	AMEND.
35701-02B-701	A

THRUST BLOCK LENGTH

THRUST BLOCK LENGTH

PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 KPa.	VERY STIFF CLAY SANDY LOAM 100KPa.	SAND & GRAVEL HARDCLAY 150KPa.	SAND & GRAVEL CEMENTED WITH CLAY 200KPa.	ROCK 240KPa
100	90° BEND	19.8	400	1000	●	●	●	●
	60° BEND	14.0		700	●	●	●	●
	45° BEND	10.7		●	●	●	●	●
	22.5° BEND	5.5		●	●	●	●	●
	11.25° BEND	2.7		●	●	●	●	●
	TEE OR CLOSED END	14.0		700	●	●	●	●
150	90° BEND	41.7	450	1860	930	●	●	●
	60° BEND	29.5		1320	660	●	●	●
	45° BEND	22.6		1000	●	●	●	●
	22.5° BEND	11.5		●	●	●	●	●
	11.25° BEND	5.8		●	●	●	●	●
	TEE OR CLOSED END	29.5		1300	660	●	●	●
200	90° BEND	71.7	550	*	1300	870	650	●
	60° BEND	50.7		1850	920	●	●	●
	45° BEND	38.8		1410	700	●	●	●
	22.5° BEND	19.8		720	●	●	●	●
	11.25° BEND	9.9		●	●	●	●	●
	TEE OR CLOSED END	50.7		1850	920	●	●	●
225	90° BEND	89.4	600	*	1500	1000	750	●
	60° BEND	63.2		2110	1060	700	●	●
	45° BEND	48.4		1620	810	●	●	●
	22.5° BEND	24.6		830	●	●	●	●
	11.25° BEND	12.4		●	●	●	●	●
	TEE OR CLOSED END	63.2		210	1060	700	●	●
250	90° BEND	109.0	650	*	1700	1120	840	700
	60° BEND	77.1		2400	1200	800	●	●
	45° BEND	59.0		1820	910	●	●	●
	22.5° BEND	30.1		930	●	●	●	●
	11.25° BEND	15.1		●	●	●	●	●
	TEE OR CLOSED END	77.1		2400	1200	800	●	●
300	90° BEND	158.6	700	*	2270	1510	1140	950
	60° BEND	112.2		1600	1070	800	670	●
	45° BEND	85.9		2453	1230	820	●	●
	22.5° BEND	43.8		1250	630	●	●	●
	11.25° BEND	22.0		630	●	●	●	●
	TEE OR CLOSED END	112.2		*	1600	1070	800	750

PIPE DN.	FITTING	MAX. THRUST IN KN	THRUST BLOCK HEIGHT	STIFF CLAY 50 KPa.	VERY STIFF CLAY SANDY LOAM 100KPa.	SAND & GRAVEL HARDCLAY 150KPa.	SAND & GRAVEL CEMENTED WITH CLAY 200KPa.	ROCK 240KPa
375	90° BEND	241.9	800	*	*	2220	1510	1260
	60° BEND	171.0		●	2140	1430	1070	890
	45° BEND	130.9		●	1640	1090	820	680
	22.5° BEND	66.7		1670	840	●	●	●
	11.25° BEND	33.5		840	●	●	●	●
	TEE OR CLOSED END	171.0		*	2140	1430	1070	890
450	90° BEND	342.6	900	*	*	2540	1900	1590
	60° BEND	242.3		●	2690	1800	1350	1120
	45° BEND	185.4		●	2060	1375	1030	860
	22.5° BEND	94.5		2100	1050	700	●	●
	11.25° BEND	47.5		1060	●	●	●	●
	TEE OR CLOSED END	242.3		*	2690	1800	1350	1120
500	90° BEND	418	1000	*	*	2790	2090	1740
	60° BEND	295.6		●	1970	1480	1230	●
	45° BEND	226.2		●	2260	1510	1130	940
	22.5° BEND	115.3		2310	1150	770	●	●
	11.25° BEND	58.0		1160	●	●	●	●
	TEE OR CLOSED END	295.5		*	1970	1480	1230	●
600	90° BEND	593	1100	*	*	*	2700	2250
	60° BEND	419		●	2540	1910	1590	●
	45° BEND	320		●	2920	1950	1460	1220
	22.5° BEND	164		2980	1490	990	750	620
	11.25° BEND	82.2		1500	750	●	●	●
	TEE OR CLOSED END	419		*	2540	1910	1590	●
750	90° BEND	909	1300	*	*	*	*	2920
	60° BEND	643		●	2480	2060	●	●
	45° BEND	492		●	2530	1890	1580	●
	22.5° BEND	251		1940	970	650	●	●
	11.25° BEND	126.1		1940	970	650	●	●
	TEE OR CLOSED END	643		*	2480	2060	●	●
900 (Ø960 MSCL)	90° BEND	1.228	1500	*	*	*	*	3420
	60° BEND	868		●	2900	2420	●	●
	45° BEND	664		●	2960	2220	1850	●
	22.5° BEND	339		2270	1140	940	●	●
	11.25° BEND	170		2270	1140	760	●	●
	TEE OR CLOSED END	868		*	3300	2650	●	●



- NOTES**
- ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE SPECIFIED.
 - CAST THE THRUST AREA OF ALL THRUST BLOCKS AGAINST A CLEAN FACE OF UNDISTURBED NATURAL SOIL. SOIL CLASSIFICATIONS USED ON THIS DRAWING ARE EXPLAINED IN SEQ-WAT-1200-1. DO NOT USE STANDARD THRUST BLOCKS AS SPECIFIED IN THIS DRAWING IN SOILS WITH < 50kPa BEARING CAPACITY EG;
 - VERY SOFT, SOFT OR FIRM CLAY.
 - LOOSE CLEAN SAND.
 - UNCOMPACTED FILL OR REFUSE.
 A GEOTECHNICAL ASSESSMENT AND INDIVIDUAL DESIGN IS REQUIRED FOR THESE SOILS. THRUST BLOCKS NOT TO INTERFERE WITH OTHER SERVICES OR BE LOCATED OUTSIDE THE WATER MAIN ALLOCATION WITHOUT WATER AGENCY APPROVAL.
 - ALL CONCRETE GRADE N20. TABLE OF DIMENSIONS BASED ON REQUIRED TEST PRESSURE OF 1200KPa AND ACTUAL DI CL PIPE DIAMETERS.
 - THE MINIMUM THRUST AREA FOR TAPER THRUST BLOCKS TO BE EQUAL TO THE DIFFERENCE BETWEEN THE THRUST AREAS FOR TEES OR CLOSED ENDS OF EQUIVALENT DIAMETER TO THOSE EACH SIDE OF TAPER. THE DETAIL SHOWN IS FOR < OR = DN150 MAINS. FOR LARGER MAINS, THE TAPER THRUST BLOCK SHALL BE REINFORCED AND OF A SIZE AS SHOWN IN SEQ-WAT-1206-1.
 - FOR DOWNWARD VERTICAL THRUST, THE ALLOWABLE BEARING PRESSURES FOR VARIOUS SOILS MAY BE TAKEN AS TWICE THAT FOR HORIZONTAL THRUST SHOWN.
 - WHEN POURING CONCRETE AGAINST FITTINGS PLACE A MEMBRANE OF POLYETHYLENE, PVC OR FELT BETWEEN THE FITTING AND CONCRETE TO PREVENT DAMAGE TO THE FITTING. PIPE JOINTS TO BE CLEAR OF CONCRETE.
 - CONCRETE THRUST BLOCK ANCHORS FOR VALVES TO BE AS DETAILED ON SEQ-WAT-1206-1.

THRUST BLOCK DIMENSIONS - 1200kPa

- INDICATES BLOCK LENGTH OF 600
- * = SPECIAL DESIGN

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: OPW/2022/1544

Dated: 26 April 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies