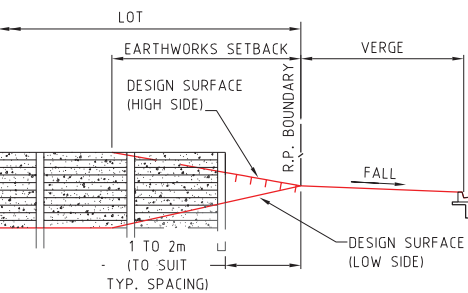


GENERAL

1. CONTRACT SPECIFICATIONS
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
LEVELS SHOWN ARE TO A.H.D.
4. EXISTING SERVICES - EXTERNAL WORKS
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES AND TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY.
5. ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

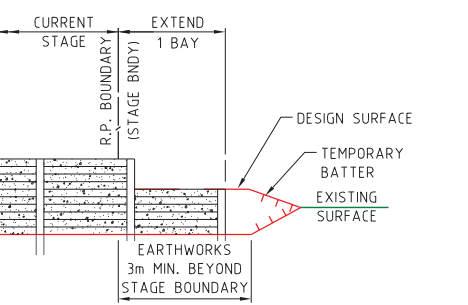
LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING RETAINING WALL
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE CONTOURS
- FUTURE RETAINING WALL
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED CONTOURS
- PROPOSED RETAINING WALL
- PROPOSED BESSER BLOCK RETAINING WALL
- SITE BOUNDARY
- LIMIT OF WORKS BOUNDARY
- NOMINAL LOT PAD LEVEL
- RH1.0 INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:150 MIN. REFER 460 DRAWING SERIES)



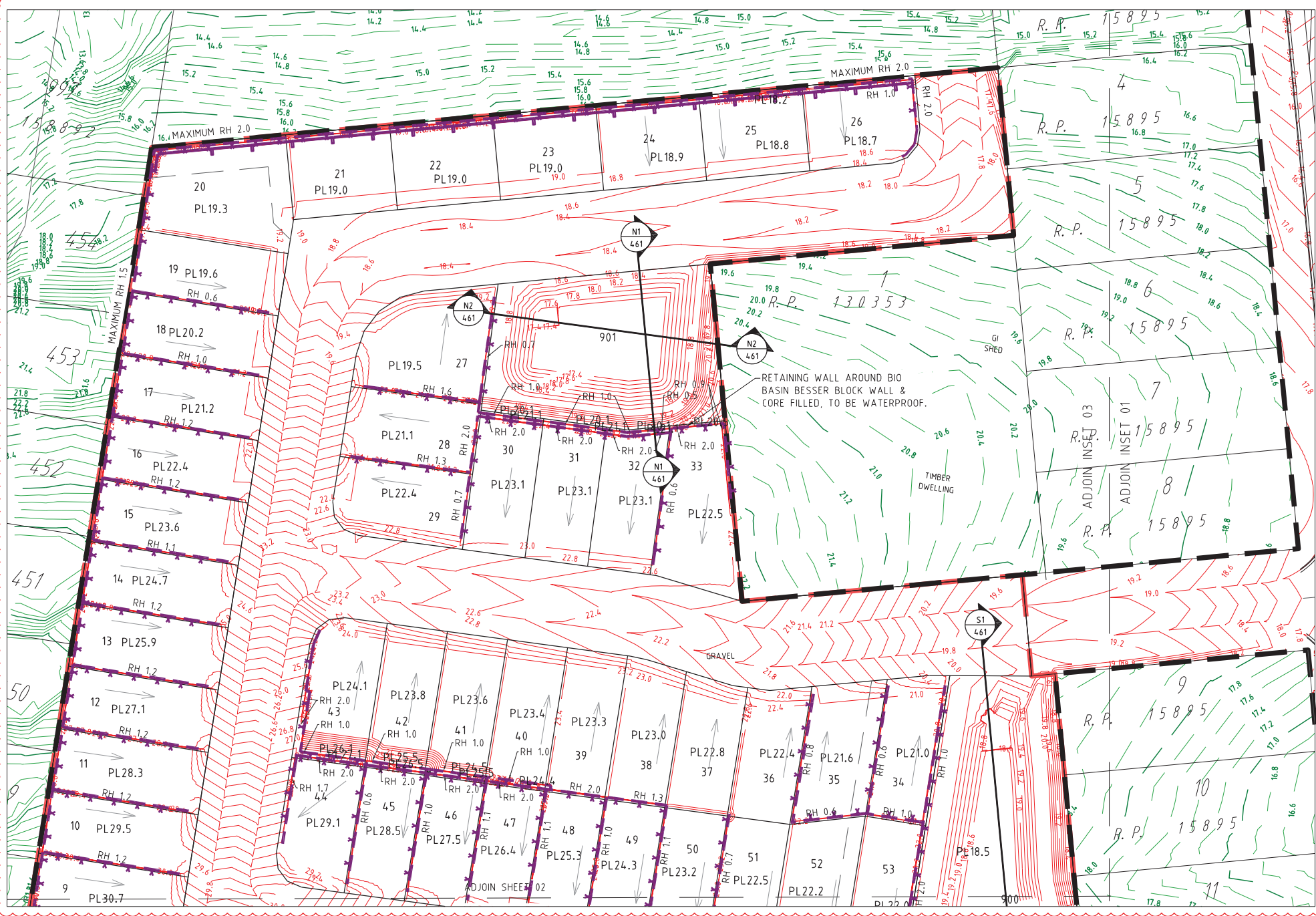
TYPICAL STAGE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1:200 - A3)



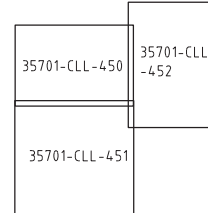
TYPICAL STAGE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1:200 - A3)



D

SHEET LAYOUT



NOTE:
RETAINING WALLS TO BE CONSTRUCTED AS PART OF THE CIVIL WORKS. THE CIVIL CONTRACTOR IS TO INSTALL TEMPORARY 1:2 BATTERS IN PLACE OF RETAINING WALLS.

PROJECT NAME

DALMA
CHANGE OF LEVEL
OF LAND

RP DESCRIPTION Lot 4 RP883725 , LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

ORMEAU DEVELOPMENTS PTY LTD



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
COUNCIL	30-08-18
CONSTRUCTION	

D	DATE	DESCRIPTION
D	12-03-19	CONTOURS, LOTS AND RETAINING WALL AMENDMENTS
C	17-12-18	CONTOURS, LOTS AND RETAINING WALL AMENDMENTS
B	06-12-18	CONTOURS, LOTS AND RETAINING WALL AMENDMENTS
A	30-08-18	COUNCIL ISSUE

PRE DATE	AMENDMENT

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ASSOCIATED CONSULTANTS

DRAWING TITLE

RETAINING WALL AND DETAIL GRADING PLAN
SHEET 1 OF 3



MUS Pty Ltd T/As: Postal Address
Mortons-Urban Solutions PO Box 2484
ABN 39 116 375 065 Southport QLD 4215
mortons@urbansolutions.net.au
www.urbansolutions.net.au
Tel 07 5571 1099 Suite 9, 19 Short St
Fax 07 5571 1088 Southport QLD 4215

DESIGNED RB	DRAWN JB
APPROVED RB	PREP 4706 DATE 28-06-18

DRAWING NUMBER	AMEND.
35701-CLL-450	D

DALMA

CHANGE OF LEVEL OF LAND

RP DESCRIPTION: Lot 4 RP883725, LOT 4
DALMA STREET ORMEAU HILLS
LOCALITY OF ORMEAU
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

CLIENT

**ORMEAU
DEVELOPMENTS
PTY LTD**



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
COUNCIL	30-08-18
CONSTRUCTION	

PRE DATE	AMENDMENT
C	12-03-19 CONTOURS, LOTS AND RETAINING WALL AMENDMENTS
B	06-12-18 CONTOURS, LOTS AND RETAINING WALL AMENDMENTS
A	30-08-18 COUNCIL ISSUE

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ASSOCIATED CONSULTANTS

DRAWING TITLE

**RETAINING WALL
AND DETAIL GRADING PLAN**
SHEET 2 OF 3



MUS Pty Ltd T/As: Postal Address
Mortons-Urban Solutions PO Box 2484
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mortons@urbansolutions.net.au
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Tel 07 5571 1099 Suite 9, 19 Short St
Fax 07 5571 1088 Southport QLD 4215

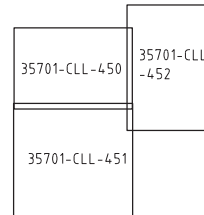
DESIGNED RB	DRAWN JB
APPROVED <i>[Signature]</i>	PEQ 4706 DATE 09-08-18

DRAWING NUMBER	AMEND.
35701-CLL-451	C

LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- EXISTING RETAINING WALL
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE CONTOURS
- FUTURE RETAINING WALL
- PROPOSED KERB (INVERT)
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SHEET LAYOUT



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